

SOURCE: USGS QUADRANGLE MAP, 7.5 MINUTE SERIES, CHATHAM, NJ, DATED 2023 & USGS QUADRANGLE MAP, 7.5 MINUTE SERIES, PLAINFIELD, NJ, DATED 2023

KEY MAP

SCALE: 1" = 2,000'±

PRELIMINARY & FINAL MAJOR SITE PLAN FOR VILLANI REALTY GROUP PROPOSED RESIDENTIAL DEVELOPMENT

BLOCK 110, LOTS 2.02-2.13
430 GROVE STREET
BOROUGH OF NORTH PLAINFIELD, SOMERSET COUNTY, NEW JERSEY

| APPROVAL BLOCK | |
|--|--|
| APPROVED BY THE BOROUGH OF NORTH PLAINFIELD PLANNING BOARD | |
| CHAIRPERSON | |
| SECRETARY | |
| ENGINEER | |

APPLICANT/OWNER

JOE VILLANI
VILLANI REALTY GROUP
376 NORTH AVENUE, SUITE A
DUNELLEN, NEW JERSEY 08812
JCVJR@AOL.COM

ATTORNEY

JOSEPH A. PAPARO, ESQ.
100 SOUTHGATE PARKWAY, P.O. BOX 1997
MORRISTOWN NEW JERSEY, 07962
(973) 889-4042
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Phone 201.340.4468 · Fax 201.340.4472

| NORTH PLAINFIELD UTILITIES LIST | | |
|---|--------------------------------|--|
| COMPANY | CONTACT | ADDRESS |
| NEW JERSEY AMERICAN WATER COMPANY, INC | DONNA SHORT, GIS SUPERVISOR | 1025 LAUREL OAK ROAD, VOORHEES, NJ 08043 |
| PLAINFIELD AREA REGIONAL SEWERAGE AUTHORITY | N/A | 200 CLAY AVENUE, MIDDLESEX, NJ 08846 |
| PUBLIC SERVICE ELECTRIC & GAS COMPANY | MANAGER - CORPORATE PROPERTIES | 80 PARK PLAZA, T68, NEWARK, NJ 07102 |
| VERIZON | N/A | 540 BROAD STREET, NEWARK, NJ 07101 |
| COMCAST OF PLAINFIELD, LLC | GENERAL MANAGER | 800 RAHWAY AVENUE, UNION, NJ 07083 |

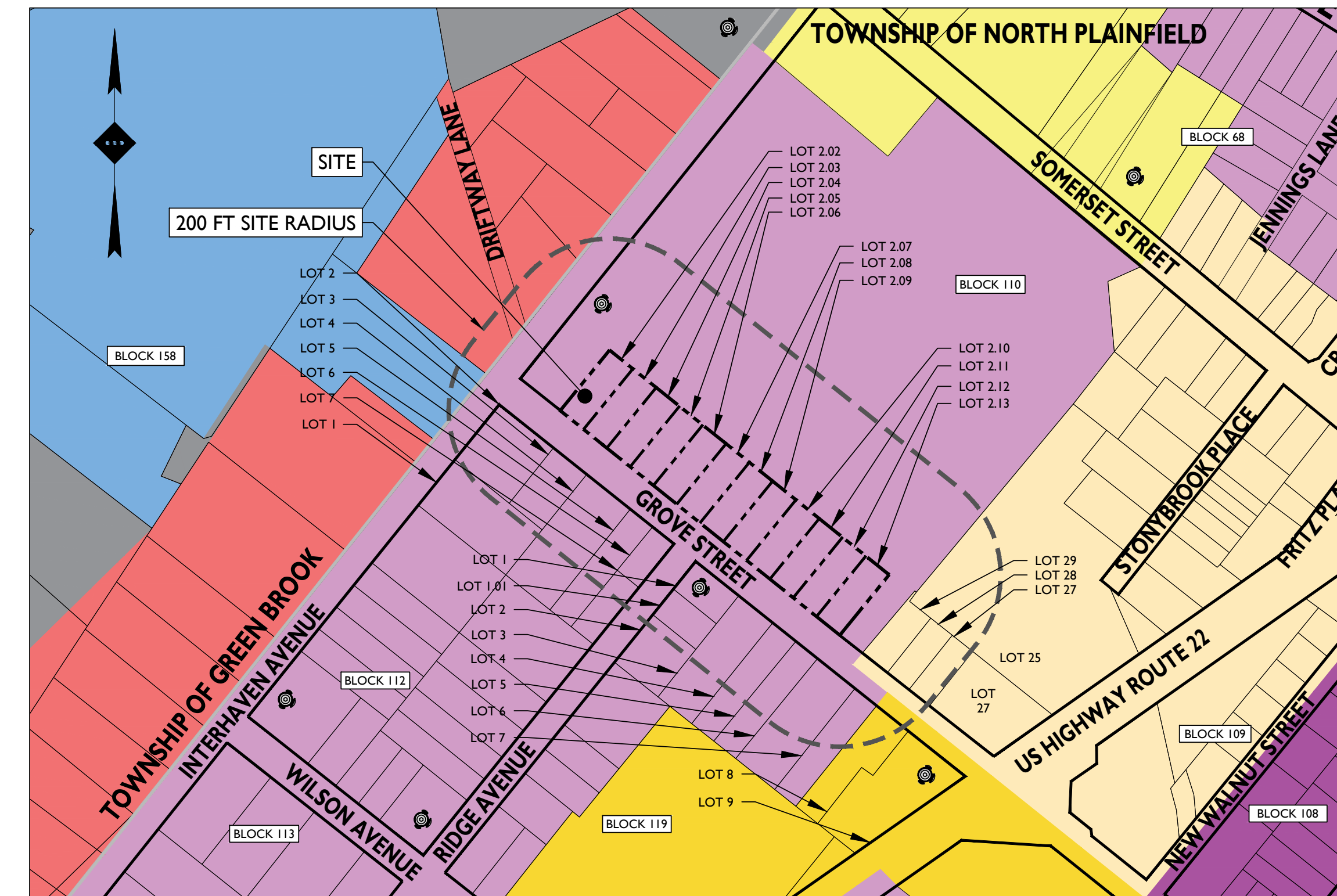
| NORTH PLAINFIELD 200' PROPERTY OWNERS LIST | | | |
|--|------|-----------------------------------|--|
| BLOCK | LOT | OWNER | OWNER'S ADDRESS |
| 110 | 2.01 | BIELSKI, FILIP & LYNNE | 450 GROVE ST |
| 110 | 2.14 | SOMERSET COUNTY IMPROVEMENT AUTH. | 20 GROVE ST, PO BOX 3000 SOMERSETVILLE, NJ 08876 |
| 110 | 25 | VINCE, ELEANOR | 221 DRYDEN RD, BENARVILLE, NJ 07924 |
| 110 | 26 | VINCE, ELEANOR | 221 DRYDEN RD, BENARVILLE, NJ 07924 |
| 110 | 27 | VINCE, ELEANOR | 356-8 GROVE ST. |
| 110 | 28 | PETTY, ROCHELLE & JEFFERY | 360-62 GROVE STREET |
| 110 | 29 | ALI, AMANAT | 364 GROVE STREET |
| 111 | 1 | ROSARIO, LUIS E. & JOSEPH, LIZA | 87 INTERHAVEN AVE. |
| 111 | 2 | ZAMBONI, MARGARET & FODOR, ALFAR | 451 GROVE STREET |
| 111 | 3 | TONY, LISA S. | VANDERVEER STA. #100303, BROOKLYN, NY 11210 |
| 111 | 4 | LAMASTRA FAMILY, LLC | 9 JACOBS LANE SCOTCH PLAINS, NJ 07076 |
| 111 | 5 | MUNIR, RAJA M. & AKHTUS, YASMIN | 429 GROVE STREET |
| 111 | 6 | OVELICH, THOMAS & THERESA | 425 GROVE STREET |
| 111 | 7 | ROYER, WILLIAM A. & CHARLOTTE M. | 90 RIDGE AVENUE |
| 120 | 1 | AHMED, SAJJAD | 411 GROVE STREET |
| 120 | 1.01 | AHMED, RAJA ALI & SHAKOOR, RAJA A | 79 RIDGE AVE |
| 120 | 2 | FOR JOY, LLC | P.O. BOX 2917 PLAINFIELD, NJ |
| 120 | 3 | NP FOREST 1 LLC & NP FOREST 2 LLC | 930 S COUNTY LINE RD, 5103 LAKEWOOD, NJ 08701 |
| 120 | 4 | DAZ-NAVARRETE, LUIS | 401 GROVE STREET |
| 120 | 5 | 301-399 GROVE STREET, LP | 500 RIVER AVE., SUITE 250 LAKEWOOD, NJ 08701 |
| 120 | 6 | 301-399 GROVE STREET LP | 22 ESTHER COURT LAKEWOOD, NJ 08701 |
| 120 | 7 | CABRERA, MANUEL & CABRERA, ADELIA | 387 GROVE STREET |
| 120 | 8 | MRSIOFA REALTY, LLC | 20225 NE 16TH PLACE, MIAMI, FL 33179 |



SOURCE: GOOGLE EARTH PRO, IMAGE DATED 06/05/2022, RETRIEVED 10/09/2023

AERIAL MAP

SCALE: 1" = 200'±



SOURCE: BOROUGH OF NORTH PLAINFIELD TAX MAP, DATED JAN 2007, BOROUGH OF NORTH PLAINFIELD ZONING MAP, DATED JAN 2012, TOWNSHIP OF GREEN BROOK TAX MAP, DATED NOVEMBER 2019 & TOWNSHIP OF GREEN BROOK ZONING MAP, DATED JUNE 2019

TAX & ZONING MAP

SCALE: 1" = 200'±

PLANS PREPARED BY:



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www.stonefielddeng.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
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PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - SURVEY PREPARED BY PARKER ENGINEERING & SURVEYING P.C. DATED 09/18/2023
 - ARCHITECTURAL PLANS PREPARED BY TAYLOR ARCHITECTURE & DESIGN DATED 02/05/2024
 - VILLA MARIA SITE REDEVELOPMENT PLAN PREPARED BY PHILLIPS PREISS GRUYGIEL LEHENY HUGHES LLC DATED 6/2023
 - GEOTECHNICAL REPORT PREPARED BY JOHNSON SOILS COMPANY DATED 10/17/2023
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, RETRIEVED 06/05/2022
 - KEY MAP FROM USGS QUADRANGLE MAP 7.5 MINUTE SERIES, CHATHAM, NJ & PLAINFIELD, NJ DATED 2023.
 - TAX MAP, SHEET 21, 28, 29, 30, 46 OBTAINED FROM BOROUGH OF NORTH PLAINFIELD, NJ TAX MAPS, DATED 06/20/2007
 - TAX MAP, SHEET 29 OBTAINED FROM TOWNSHIP OF GREEN BROOK, NJ TAX MAPS, DATED NOVEMBER 2019
 - ZONING MAP OBTAINED FROM BOROUGH OF NORTH PLAINFIELD ZONING MAP, DATED 01/10/2012
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

ZONING LEGEND:

| BOROUGH OF NORTH PLAINFIELD: | | TOWNSHIP OF GREEN BROOK: | |
|------------------------------|---|----------------------------|-------------------------------------|
| (R-2) RESIDENTIAL ZONE TWO | (AHD-2) AFFORDABLE HOUSING DISTRICT TWO | (MP) MOUNTAIN PRESERVATION | (SMD) SPECIAL MOUNTAINSIDE DISTRICT |
| (R-3) RESIDENTIAL ZONE THREE | (B-2A) BUSINESS ZONE TWO A | | |
| (B-2) BUSINESS ZONE TWO | (B-3) BUSINESS ZONE THREE | | |
| (B-6) BUSINESS ZONE SIX | | | |

SHEET INDEX

| DRAWING TITLE | SHEET # |
|--------------------------------------|-------------|
| COVER SHEET | C-1 |
| EXISTING CONDITIONS PLAN | C-2 |
| DEMOLITION PLAN | C-3 |
| SITE PLAN | C-4 |
| GRADING PLAN | C-5 |
| STORMWATER MANAGEMENT PLAN | C-6 |
| UTILITY PLAN | C-7 |
| LIGHTING PLAN | C-8 |
| SOIL EROSION & SEDIMENT CONTROL PLAN | C-9 - C-10 |
| LANDSCAPING PLAN | C-11 - C-12 |
| CONSTRUCTION DETAILS | C-13 - C-18 |
| TRUCK TURNS | C-19 - C-21 |

PRELIMINARY & FINAL MAJOR SITE PLAN
VILLANI REALTY GROUP
PROPOSED RESIDENTIAL DEVELOPMENT

BLOCK 110, LOT 2.02 TO 2.13
430 GROVE STREET
BOROUGH OF NORTH PLAINFIELD
SOMERSET COUNTY, NEW JERSEY

JOSHUA H. KLINE, P.E.
NEW JERSEY LICENSE No. 54347
LICENSED PROFESSIONAL ENGINEER



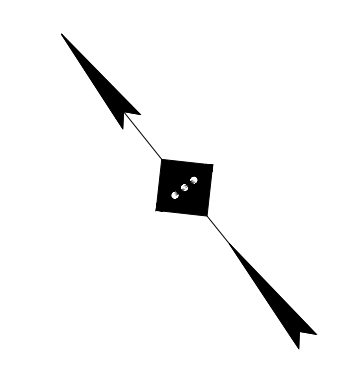
SCALE: AS SHOWN PROJECT ID: PRI-231001

TITLE:

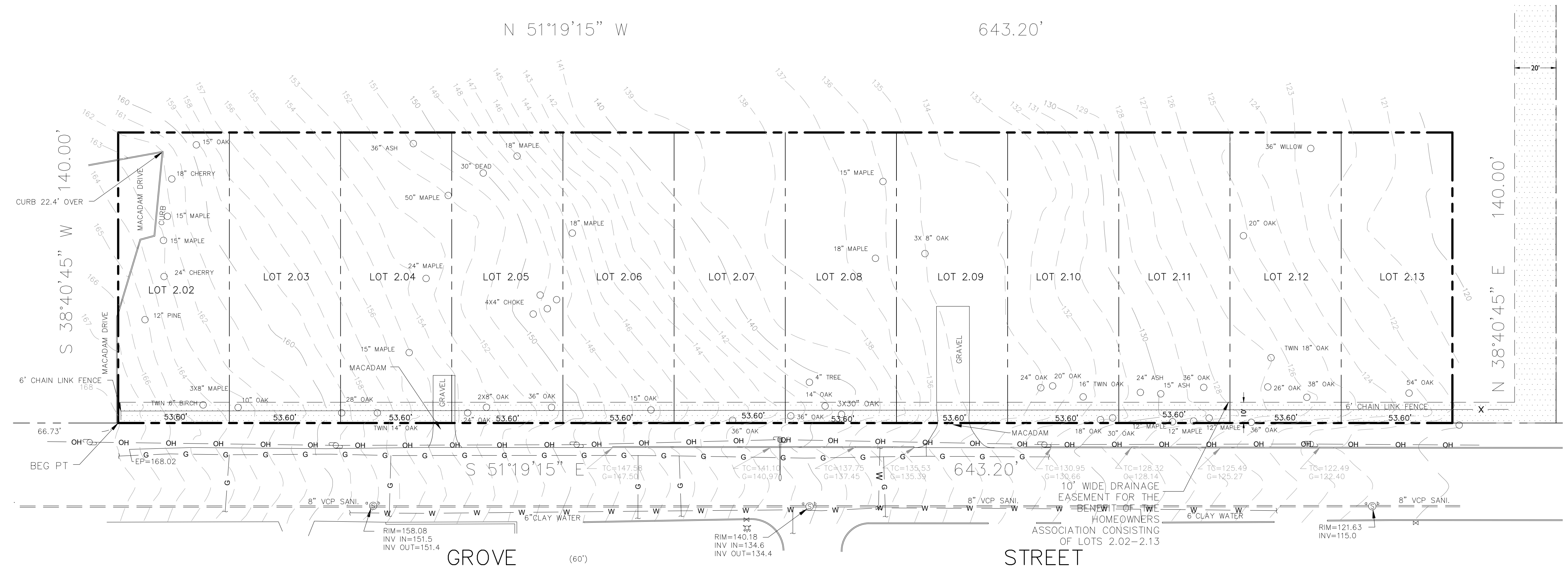
COVER SHEET

DRAWING:

C-1

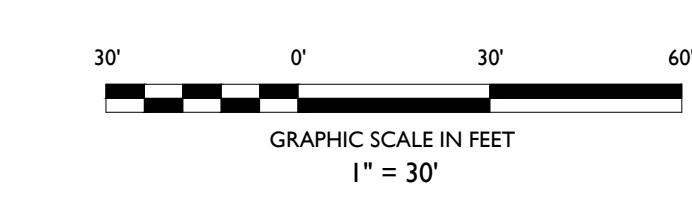


| SYMBOL | DESCRIPTION |
|---------|-------------------|
| --- | PROPERTY LINE |
| - - - - | EASEMENT LINE |
| --- | CONTOUR LINE |
| --- | RIGHT-OF-WAY LINE |
| ○ | TREE |
| -x-x- | CHAIN LINK FENCE |
| ○ | UTILITY POLE |
| — OH — | OVERHEAD WIRE |
| — G — | GAS LINE |
| ○ | MANHOLE |
| ⊗ | WATER VALVE |



SURVEY NOTES:

1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



| FOR MUNICIPAL SUBMISSION | DESCRIPTION |
|--------------------------|-------------|
| EGB | BY |
| 07/18/2024 | DATE |
| I | ISSUE |

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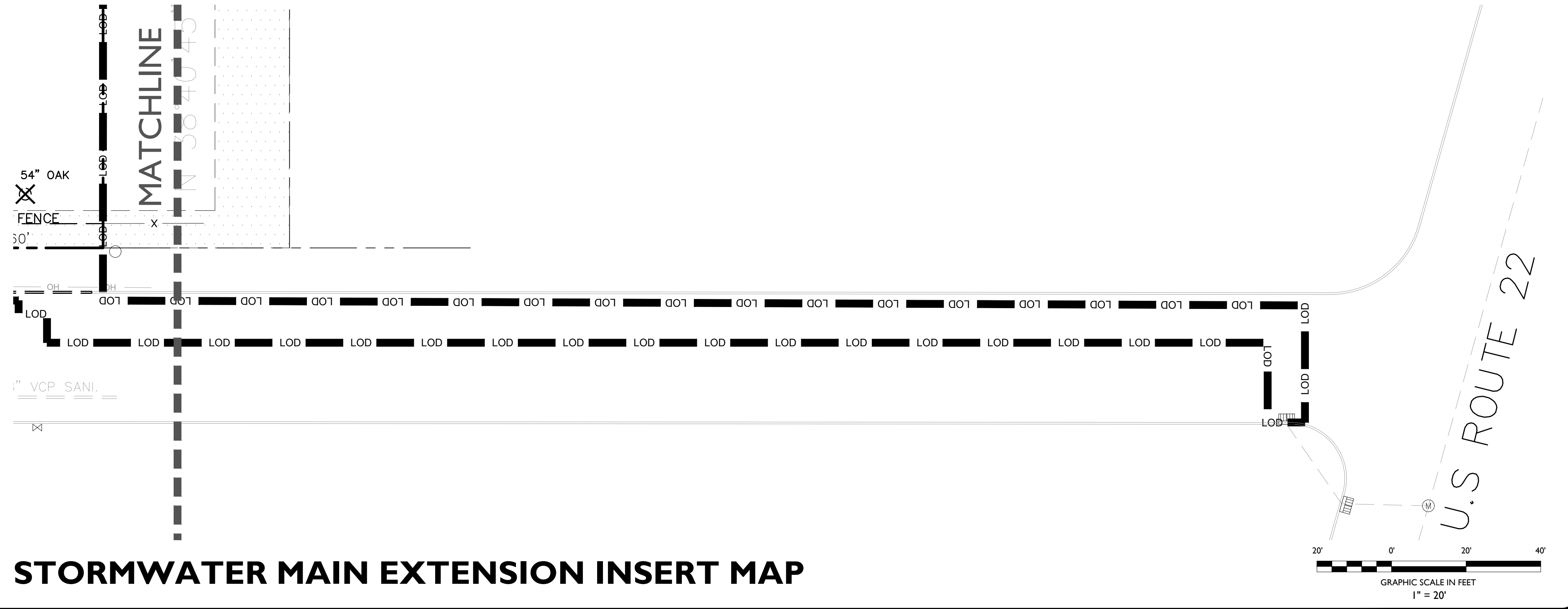
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SCALE: 1" = 30' PROJECT ID: PRI-23101

TITLE:
EXISTING CONDITIONS PLAN

DRAWING:
C-2

2:\PROJECT\PRI-23101\1\TAYLOR ARCHITECTURE - 100 GROVE STREET, NORTH PLAINFIELD, NJ 07063\LOT 2.02.DWG

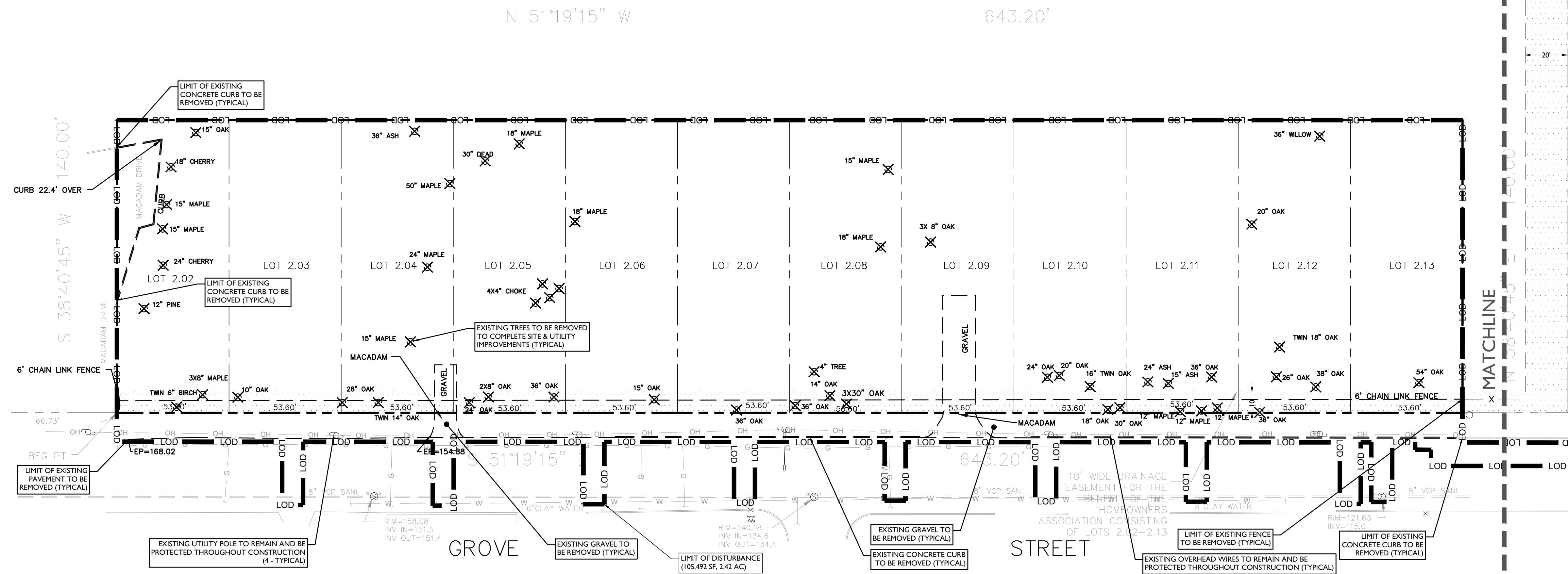


STORMWATER MAIN EXTENSION INSERT MAP

| SYMBOL | DESCRIPTION |
|---------|------------------------------------|
| --- | FEATURE TO BE REMOVED / DEMOLISHED |
| — LOD — | LIMIT OF DISTURBANCE |
| ⊗ | TREE TO BE REMOVED / DEMOLISHED |

CONTRACTOR TO COORDINATE WITH THE ADJACENT PROPERTY OWNER PRIOR TO DEMOLISHING/REMOVING SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE.

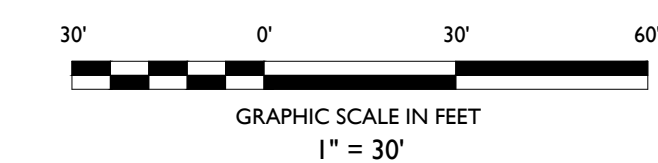
ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



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DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



| DATE | ISSUE | BY | DESCRIPTION |
|------------|-------|-----|--------------------------|
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SOMERSET COUNTY, NEW JERSEY

JOSHUA H. KLINE, P.E.
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engineering & design

SCALE: 1" = 30' PROJECT ID: PRI-23101

TITLE:
DEMOLITION PLAN

DRAWING:

C-3

| LAND USE AND ZONING | | | |
|-----------------------------------|---------------------------|----------------------|--|
| BLOCK 110, LOTS 2.02 - 2.13 | | | |
| VILLA MARIA REDEVELOPMENT PLAN | | | |
| PROPOSED USE | PERMITTED USE | | |
| MULTIFAMILY DEVELOPMENT | | | |
| ZONING REQUIREMENT | REQUIRED | EXISTING | PROPOSED |
| MINIMUM LOT AREA | 9,000 SF (0.21 AC) | 90,048 SF (2.067 AC) | 90,048 SF (2.067 AC) |
| MINIMUM LOT WIDTH | 65 FT | 140 FT | 643.2 FT |
| MAXIMUM BUILDING HEIGHT | 35 FT / 2.5 STORIES(1)(*) | 0 FT | BUILDING 1: 30.9 FT / 2 STORIES BUILDING 2: 30.9 FT / 2 STORIES BUILDING 3: 32.0 FT / 2 STORIES BUILDING 4: 31.6 FT / 2 STORIES BUILDING 5: 31.6 FT / 2 STORIES BUILDING 6: 34.2 FT / 2 STORIES BUILDING 7: 34.3 FT / 2 STORIES BUILDING 8: 31.2 FT / 2 STORIES |
| MINIMUM FRONT YARD SETBACK | 20 FT | N/A | BUILDING: 20.0 FT(**) |
| MINIMUM REAR YARD SETBACK | 25 FT | N/A | BUILDING: 68.9 FT |
| MINIMUM SIDE YARD SETBACK | 10 FT | N/A | BUILDING: 33.6 FT |
| MAXIMUM BUILDING COVERAGE | 40% (36,019 SF) | 0% (0 SF) | 22.0% (19,844 SF) |
| MAXIMUM DWELLING UNITS | 32 DU | N/A | 32 DU |
| MINIMUM AFFORDABLE DWELLING UNITS | 13 DU | N/A | 13 DU |
| MAXIMUM IMPERVIOUS COVERAGE | 75% (67,536 SF) | 1.3% (1,184 SF) | 66.6% (59,996 SF) |

(*) PER §23-3 - VERTICAL DISTANCE MEASURED, IN THE CASE OF FLAT ROOFS, FROM THE CURB LEVEL TO THE HIGHEST POINT OF THE ROOF BEAMS, ADJACENT TO THE STREET WALL AND IN THE CASE OF PITCHED ROOFS, FROM THE CURB LEVEL TO THE AVERAGE HEIGHT OF THE GRADE.
 (***) PER §21-15.22.A - THE PROJECTION OF STAIRS AND PORCHES ARE PERMITTED IN THE FRONT YARD AS LONG AS THE PORCH IS ONE STORY IN HEIGHT AND NOT PROJECTING GREATER THAN FIVE FEET.
 (*) PER § VILLA MARIA REDEV PLAN 4.B.1.A - A MAXIMUM OF THREE STORIES SHALL BE PERMITTED WHERE THE THIRD STORY IS UTILIZED FOR THE SECOND STORY OF A DWELLING UNIT THAT IS CONNECTED BY A STAIRWAY IN THE INTERIOR OF THE UNIT (I.E. A DUPLEX APARTMENT).
 N/A NOT APPLICABLE

| SIGNAGE REQUIREMENTS | | |
|----------------------|--|-----------------------|
| CODE SECTION | REQUIRED | PROPOSED |
| § 22-119.5.A | MAXIMUM AMOUNT OF FREESTANDING/WALL SIGN (WHICHEVER IS LESS SF): 1 SIGN | 1 SIGN |
| § 22-79.A | APPROPRIATE STREET SIGNS: LOCATION: ALL STREET INTERSECTIONS | 4 SIGNS |
| § 22-119.3.F | WALL SIGN LIMITS: EXTENSION MUST BE BELOW ROOF AND PARAPET WALL LIMITS PROJECTION MAXIMUM: 8 INCHES | COMPLIES 8 INCHES |
| § 22-119.5.C | WALL SIGN REQUIREMENTS: MAXIMUM SURFACE AREA: 1 SF FOR EACH FOOT OF WALL LENGTH OR 150 SF ONE DIMENSION OF THE SIGN, HORIZONTAL OR VERTICAL, SHALL EXCEED 2 FT | 30 SF 2.1 FT |
| § 22-119.5.B | FREESTANDING SIGN REQUIREMENTS: MAXIMUM SURFACE AREA: 12 SF MINIMUM SETBACK: 10 FT FROM PROPERTY LINE MAXIMUM FREESTANDING SIGN HEIGHT: 42 IN | 12 SF 10 FT 24 INCHES |

| FENCING STANDARDS | | |
|-------------------|--|---|
| CODE SECTION | REQUIRED | PROPOSED |
| § 25-3 | FENCING LIMITATIONS: CANNOT ENCRoACH ON PUBLIC RIGHT OF WAY OR WATERCOURSE GATE SWING: MUST SWING INTO INTERIOR OF PROPERTY | COMPLIES |
| § 25-4.1 | FENCING HEIGHTS ABOVE ADJACENT GROUND ELEVATION: PARALLEL TO FRONT OF PROPERTY LINE MAXIMUM: 3 FT PARALLEL TO SIDE FROM FRONT PROPERTY LINE TO FRONT YARD SETBACK: 4 FT PARALLEL TO SIDE FROM FRONT YARD SETBACK TO REAR PROPERTY LINE: 6 FT PARALLEL TO REAR OF PROPERTY LINE MAXIMUM: 6 FT | 8.0 FT (W) 9.0 FT (W) 14.5 FT (W) 14.0 FT (W) |

TBD TO BE DETERMINED

| OFF-STREET PARKING REQUIREMENTS | | |
|----------------------------------|--|--|
| CODE SECTION | REQUIRED | PROPOSED |
| § RS15 521-4.14.G.4 | TWO FAMILY (DUPLEX) REQUIRED PARKING SPACES: ONE BEDROOM: 1.8 SPACES REQUIRED (11 ONE BEDROOM UNITS)(1.8 SPACES) = 19.8 SPACES TWO BEDROOM: 2.0 SPACES REQUIRED (18 TWO BEDROOM UNITS)(2.0 SPACES) = 36 SPACES THREE BEDROOM: 2.1 SPACES REQUIRED (3 THREE BEDROOM UNITS)(2.1 SPACES) = 6.3 SPACES TOTAL: 19.8 SPACES + 36 SPACES + 6.3 SPACES = 62.1 SPACES = 62 SPACES | 58 SPACES 4 SPACES (EV BONUS) TOTAL: 62 SPACES |
| SENATE BILL S3223 | MINIMUM REQUIRED EV MAKE-READY SPACES: 15% OF PROPOSED OFF-STREET PARKING: 58 SPACES X 0.15 = 8.7 = 9 TOTAL EV MAKE-READY SPACES MINIMUM REQUIRED ACCESSIBLE MAKE-READY EV SPACES: 5% OF TOTAL MAKE-READY SPACES: (9 MAKE-READY SPACES)(0.05) = 0.5 = 1 ACCESSIBLE MAKE-READY SPACE | 9 EV MAKE-READY SPACES 1 ACCESSIBLE MAKE-READY SPACE |
| § 22-117.4.D | ADJUSTED PARKING SUPPLY CREDIT: MAXIMUM CREDIT OF 10% OF THE PARKING REQUIREMENT SHALL BE COUNTED TOWARDS TOTAL PARKING COUNT (62 SPACES)(0.1) = 6.2 SPACES | 4 SPACES |
| § 22-117.4.D | DRIVEWAY WIDTH: MINIMUM: 8 FT MAXIMUM: 18 FT | 18 FT |
| § 22-117.5.L | PARKING SPACE DIMENSION REQUIREMENTS: MINIMUM LENGTH = 18 FT MINIMUM WIDTH = 9 FT | 18 FT 9 FT |
| § 22-117.5.J | MINIMUM DRIVE AISLE WIDTH: (90 DEGREE): 24 FT | 24 FT |
| § VILLA MARIA REDEV PLAN 4.C.1.B | ACCESS POINT REQUIREMENTS: MAXIMUM 2 FROM GROVE STREET | ONE ACCESS POINTS |
| § VILLA MARIA REDEV PLAN 4.C.1.B | LOCATION FOR PARKING AREAS: REAR YARD | REAR YARD |

| ACCESSORY STRUCTURE STANDARDS | | |
|-------------------------------|--|--|
| CODE SECTION | REQUIRED | PROPOSED |
| § 22-115.3 | MAXIMUM HEIGHT: 16 FT MINIMUM ACCESSORY STRUCTURE SETBACKS: FRONT: 20 FT SIDE: 10 FT MINIMUM SETBACK FOR ACCESSORY STRUCTURE LOCATED IN REAR YARD: REAR PROPERTY LINE: 4 FT SIDE PROPERTY LINE: 4 FT MINIMUM DISTANCE FROM PRINCIPAL BUILDING: 20 FT MAXIMUM AREA OCCUPANCY OF REAR YARD: 30% CANNOT BE USED AS DWELLING | COMPLIES 87.0 FT 12.5 FT 8.8 FT 12.5 FT 21.1 FT 0.5% (222 SF) COMPLIES |

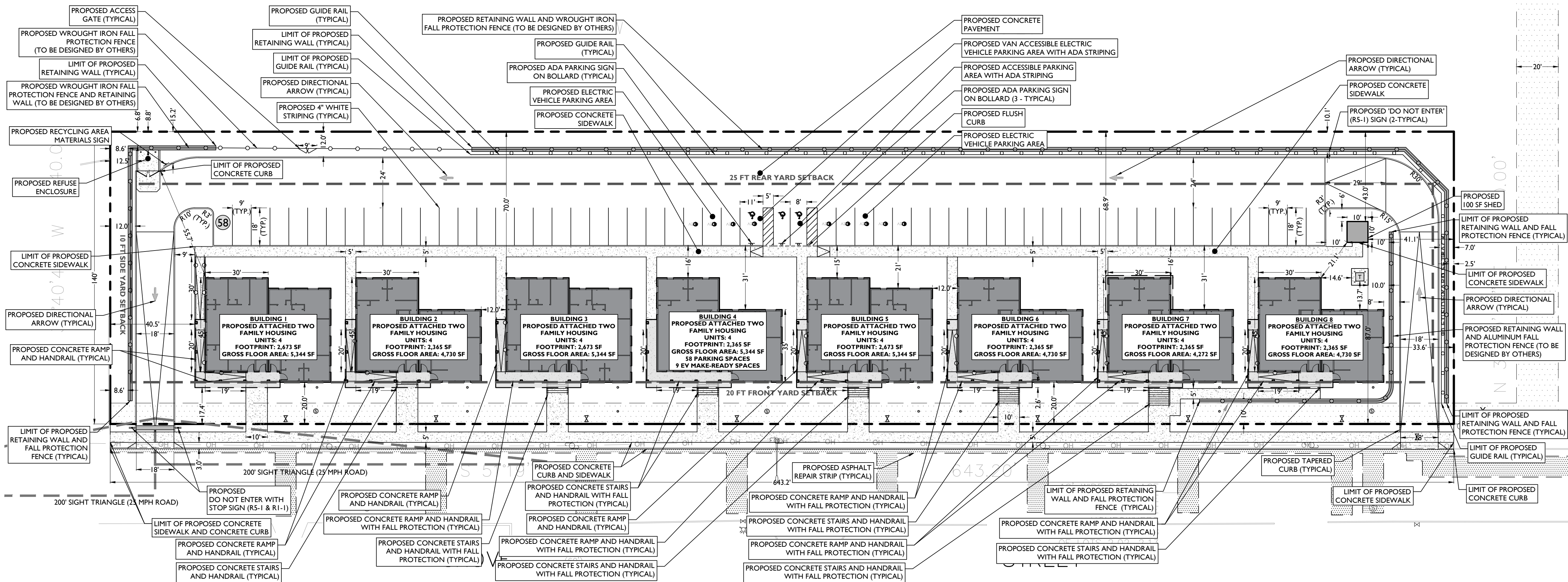
| DESIGN STANDARDS | | |
|----------------------------------|---|---------------------------|
| CODE SECTION | REQUIRED | PROPOSED |
| § 22-79.B | CONCRETE SIDEWALK REQUIREMENTS: WIDTH: 4 FT MINIMUM SETBACK FROM ROADWAY: 3 FT | 5.0 FT 3.0 FT |
| § 22-79.K | SHADE TREE REQUIREMENTS: MINIMUM: 2 TREES PER LOT MINIMUM DIAMETER: 2 INCHES MINIMUM HEIGHT: 8 FT | 2 TREES COMPLIES COMPLIES |
| § VILLA MARIA REDEV PLAN 4.B.2.A | MULTIPLE BUILDINGS ON SINGLE LOT: MULTIPLE BUILDINGS / DWELLING TYPES ARE PERMITTED ON A SINGLE LOT | COMPLIES |
| § VILLA MARIA REDEV PLAN 4.B.2.B | MINIMUM BUILDING SEPARATION DISTANCE: 10 FT | 12.0 FT |
| § VILLA MARIA REDEV PLAN 4.C.2.A | MULTIFAMILY BUILDING APPEARANCE: COMPATIBLE WITH ONE OR TWO-FAMILY HOME | COMPLIES |
| § VILLA MARIA REDEV PLAN 4.C.2.B | MULTIFAMILY DWELLING BUILDING SEPARATION: SIDE BY SIDE, STACKED OR BOTH | COMPLIES |

(*) BUILDING MUST COMPLY WITH BULK STANDARDS

| REFUSE/RECYCLING REQUIREMENTS | | |
|-------------------------------|---|----------|
| CODE SECTION | REQUIRED | PROPOSED |
| § 22-82.5 | RECYCLING CONTAINER DESIGN: MUST BE COVERED AS TO PROTECT MATERIALS AGAINST ADVERSE ENVIRONMENTAL CONDITIONS | COMPLIES |
| § 22-82.6 | RECYCLING SIGNAGE: SIGNS REQUIRED AT ACCESS POINTS TO THE RECYCLING AREA TO IDENTIFY THE RESPECTIVE MATERIALS ACCEPTED THEREIN | COMPLIES |
| § 22-82.7 | RECYCLING SCREENING: APPROPRIATE LANDSCAPING AND/OR FENCING MUST FORM AROUND RECYCLING AREA | COMPLIES |
| § 22-115.30 | REFUSE SCREENING: APPROPRIATE FENCING IS REQUIRED ALONG ALL SIDES OF OUTDOOR STORAGE OF SOLID WASTE/GARBAGE CONTAINERS REFUSE SECURITY: REFUSE MUST BE SECURED FROM GROUND ENTRY VIA DOOR OR GATE | COMPLIES |

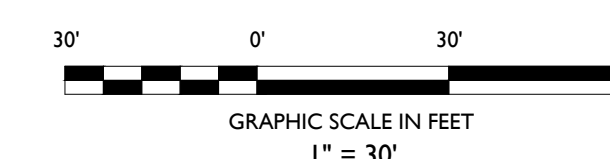
TBD TO BE DETERMINED

| SYMBOL | DESCRIPTION |
|--------|--------------------------------|
| --- | PROPERTY LINE |
| --- | SETBACK LINE |
| ○ | PROPOSED SIGNS / BOLLARDS |
| --- | PROPOSED CURB |
| --- | PROPOSED DEPRESSED CURB |
| --- | PROPOSED FLUSH CURB |
| --- | PROPOSED BUILDING |
| --- | PROPOSED BUILDING OVERHANG |
| --- | PROPOSED CONCRETE |
| --- | PROPOSED RETAINING WALL |
| X X | PROPOSED CHAINLINK FENCE |
| ○ | PROPOSED HAND RAIL |
| ○ | PROPOSED FALL PROTECTION FENCE |
| --- | PROPOSED RETAINING WALL |



GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW BY STONEFIELD ENGINEERING & DESIGN, LLC. REVIEW OF THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT NOTIFY THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



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JOSHUA H. KLINE, P.E.
NEW JERSEY LICENSE No. 54547
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: PRI-23101

TITLE: SITE PLAN

DRAWING: C-4

DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
2. CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP GRADIENT.
3. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION. IN ACCORDANCE WITH STATE LAW, CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
4. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES

1. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
2. THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL. SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS AS REQUIRED. TO CONSTRUCT THE PROPOSED IMPROVEMENTS THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

SYMBOL DESCRIPTION

- PROPERTY LINE
- PROPOSED GRADING CONTOUR
- RIDGELINE
- PROPOSED GRADING RIDGELINE
- PROPOSED DIRECTION OF DRAINAGE FLOW
- X G 100.00 PROPOSED GRADE SPOT SHOT
- X TC 100.50 PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
- X FC 100.00 PROPOSED FLUSH CURB SPOT SHOT
- X DC 100.12 PROPOSED DEPRESSED CURB / BOTTOM OF CURB SPOT SHOT
- X TW 102.00 PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT

GRADING NOTES

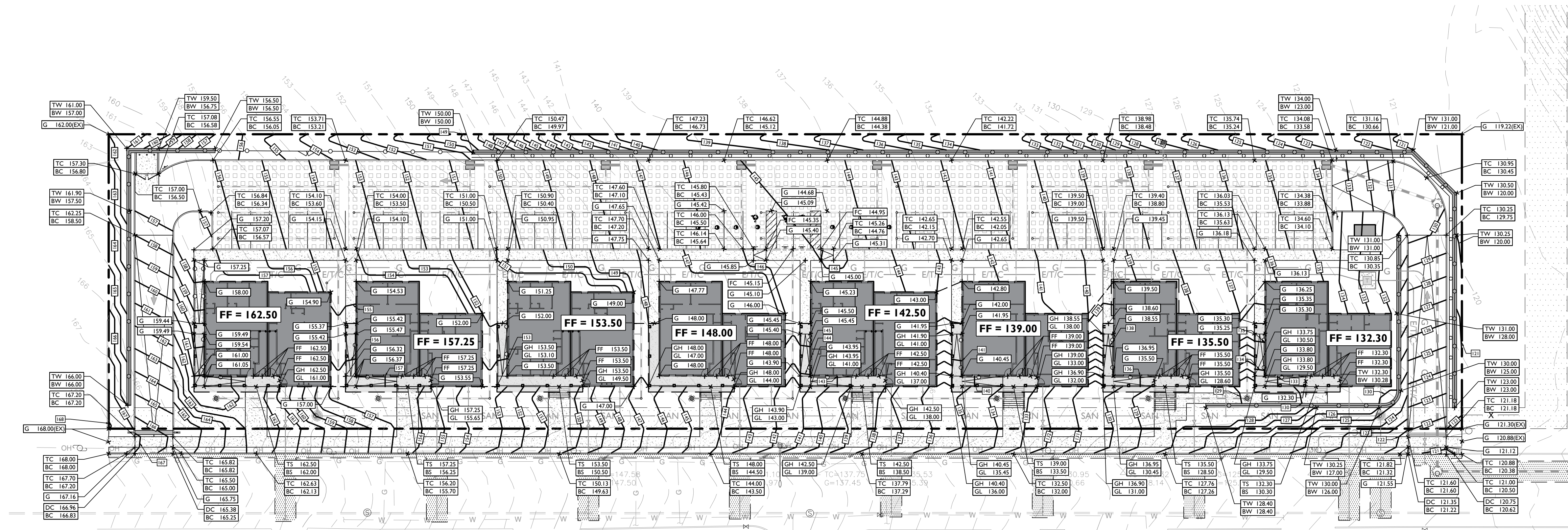
1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DEWATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
6. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.
7. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SLUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

ADA NOTES

1. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33%. IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP, CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
6. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 INCH VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.

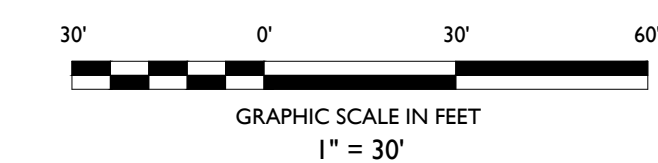
| BUILDING AVERAGE GRADE TABLE (*) | | | | | | | |
|----------------------------------|------------|------------|------------|------------|------------|------------|------------|
| BUILDING 1 | BUILDING 2 | BUILDING 3 | BUILDING 4 | BUILDING 5 | BUILDING 6 | BUILDING 7 | BUILDING 8 |
| 160.2 FT | 155.2 FT | 150.1 FT | 145.4 FT | 139.5 FT | 133.4 FT | 129.8 FT | 129.7 FT |

(*) THE BUILDING AVERAGE GRADE IS CALCULATED AT THE FRONT OF THE BUILDING



GROVE

STREET



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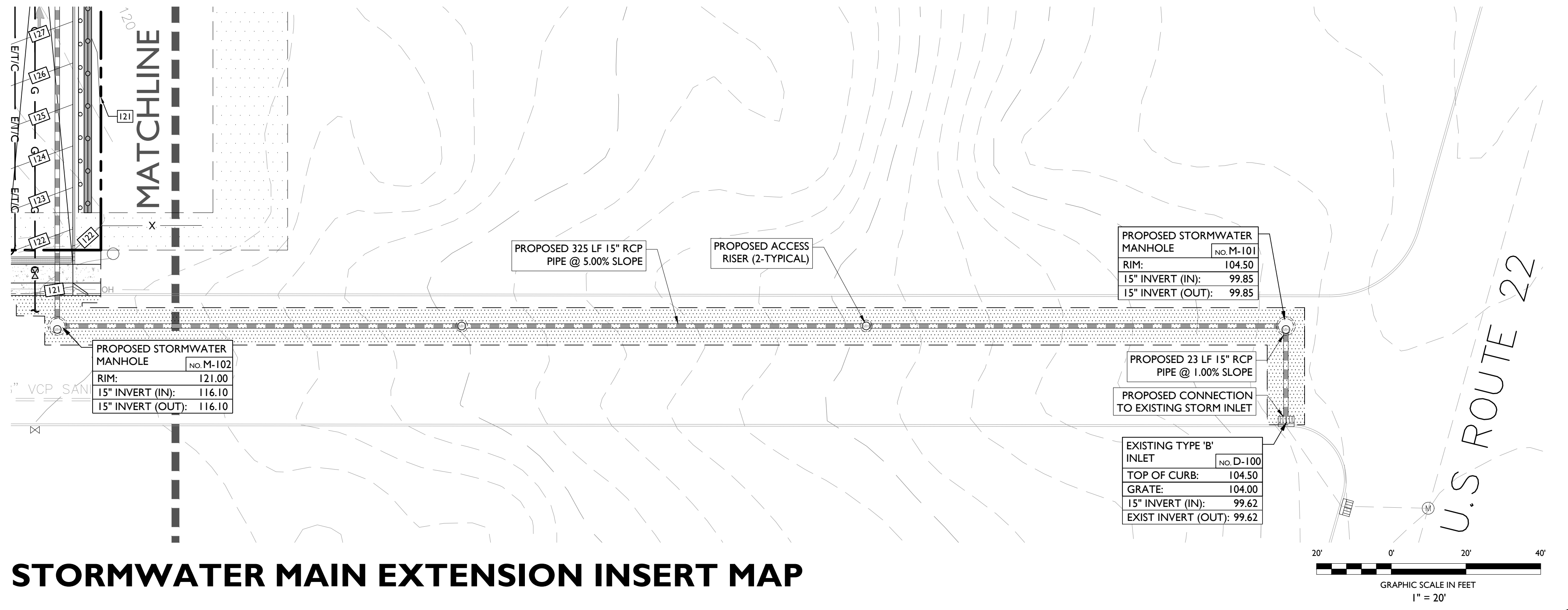
JOSHUA H. KLINE, P.E.
NEW JERSEY LICENSE No. 54547
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
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SCALE: 1" = 30' PROJECT ID: PRI-23101

TITLE: GRADING PLAN

DRAWING: C-5



STORMWATER MAIN EXTENSION INSERT MAP

PRIOR TO THE START OF CONSTRUCTION (RECOMMENDED 30 DAYS PRIOR) THE CONTRACTOR SHALL PERFORM EXPLORATORY TEST PITS AT LOCATIONS OF UTILITY / DRAINAGE CROSSINGS OR CONNECTIONS WITH EXISTING UTILITY OR STORMWATER INFRASTRUCTURE. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY NECESSARY ROAD OPENING PERMITS TO PERFORM SAID EXPLORATORY WORK. SHOULD A CONFLICT BE DISCOVERED WITH THE INFORMATION CONTAINED WITHIN THESE PLANS THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.

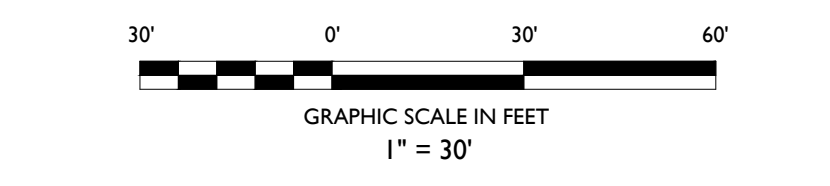
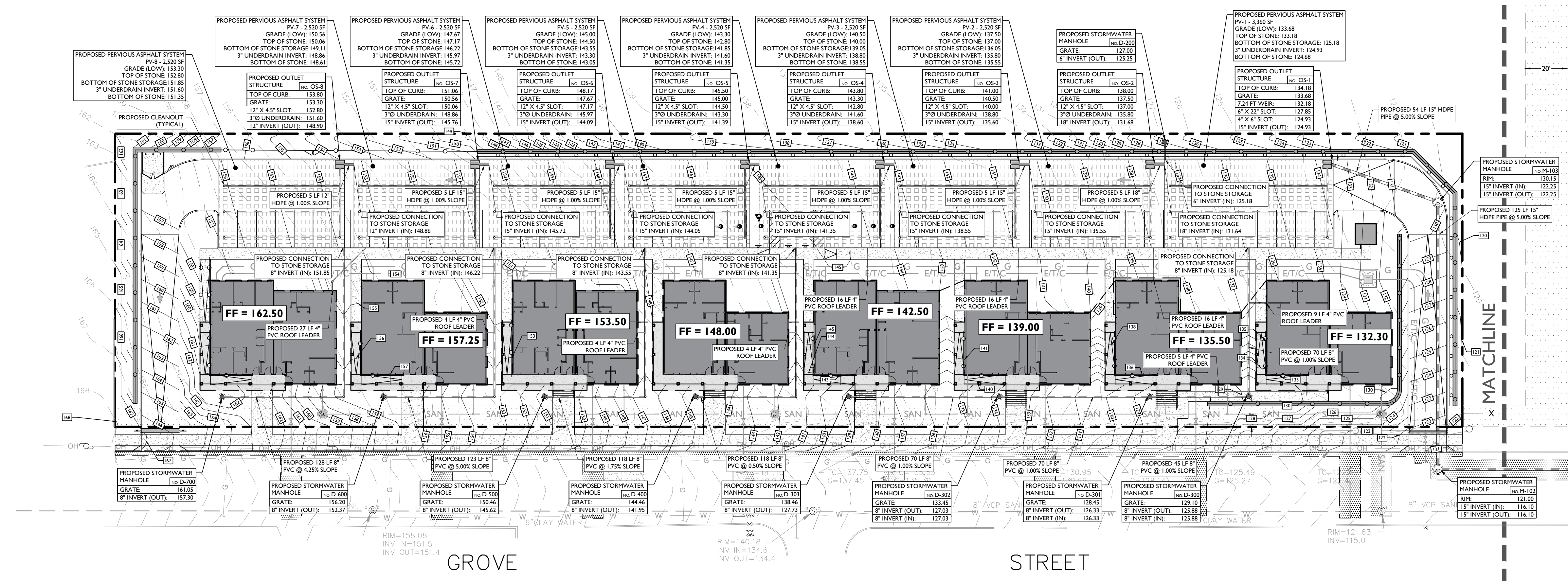
THE CONTRACTOR SHALL START CONSTRUCTION OF ALL GRAVITY SANITARY AND STORMWATER INFRASTRUCTURE AT THE DOWNSTREAM CONNECTION POINT (E.G. LOWEST INVERT) AND WORK UP-GRADIENT.

| SYMBOL | DESCRIPTION |
|--------|---------------------------------------|
| --- | PROPERTY LINE |
| 100 | PROPOSED GRADING CONTOUR |
| --- | PROPOSED GRADING RIDGELINE |
| ⊠ | PROPOSED STORMWATER STRUCTURES |
| --- | PROPOSED STORMWATER PIPING |
| ⊙ | PROPOSED UNDERGROUND OUTLET STRUCTURE |

- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMENDED 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
 - CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP-GRADIENT.
 - THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

- EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES**
- THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
 - THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL SHORING DESIGNER. THESE DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

- STORMWATER UNDERGROUND BMP CONSTRUCTION NOTES**
- THE CONTRACTOR SHALL INSTALL AND BACKFILL THE UNDERGROUND BMP IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
 - UNDERGROUND BASINS SHALL UTILIZE A STONE BACKFILL WITH A MINIMUM VOID RATIO OF 40%.
 - NO CONSTRUCTION LOADING OVER UNDERGROUND BASINS IS PERMITTED UNTIL BACKFILL IS COMPLETE PER THE MANUFACTURER'S SPECIFICATIONS. NO VEHICLES SHALL BE STAGED OR OPERATE FROM A FIXED POSITION OVER THE BASIN.



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PROPOSED RESIDENTIAL DEVELOPMENT

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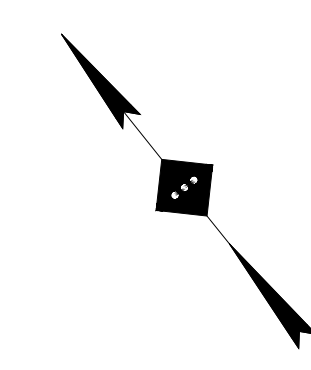
JOSHUA H. KLINE, P.E.
NEW JERSEY LICENSE NO. 54347
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: PRI-23101

TITLE: **STORMWATER MANAGEMENT PLAN**

DRAWING: **C-6**



| SYMBOL | DESCRIPTION |
|-----------|--|
| --- | PROPERTY LINE |
| - SAN - | PROPOSED SANITARY LATERAL |
| - W - | PROPOSED DOMESTIC WATER SERVICE |
| - E/T/C - | PROPOSED ELECTRICAL/DATA CONDUITS |
| - T/C - | PROPOSED DATA CONDUITS |
| - E - | PROPOSED ELECTRIC CONDUITS |
| - OH - | PROPOSED OVERHEAD WIRES |
| - G - | PROPOSED GAS LINE |
| ⊗ | PROPOSED VALVE |
| T | PROPOSED WATER TEE / BEND |
| ⊕ | PROPOSED FIRE HYDRANT |
| ⊙ | PROPOSED FIRE DIRECT CONNECTION (FDC) |
| S | PROPOSED SANITARY MANHOLE / CLEANOUT |
| U | PROPOSED UTILITY POLE |
| T | PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS |

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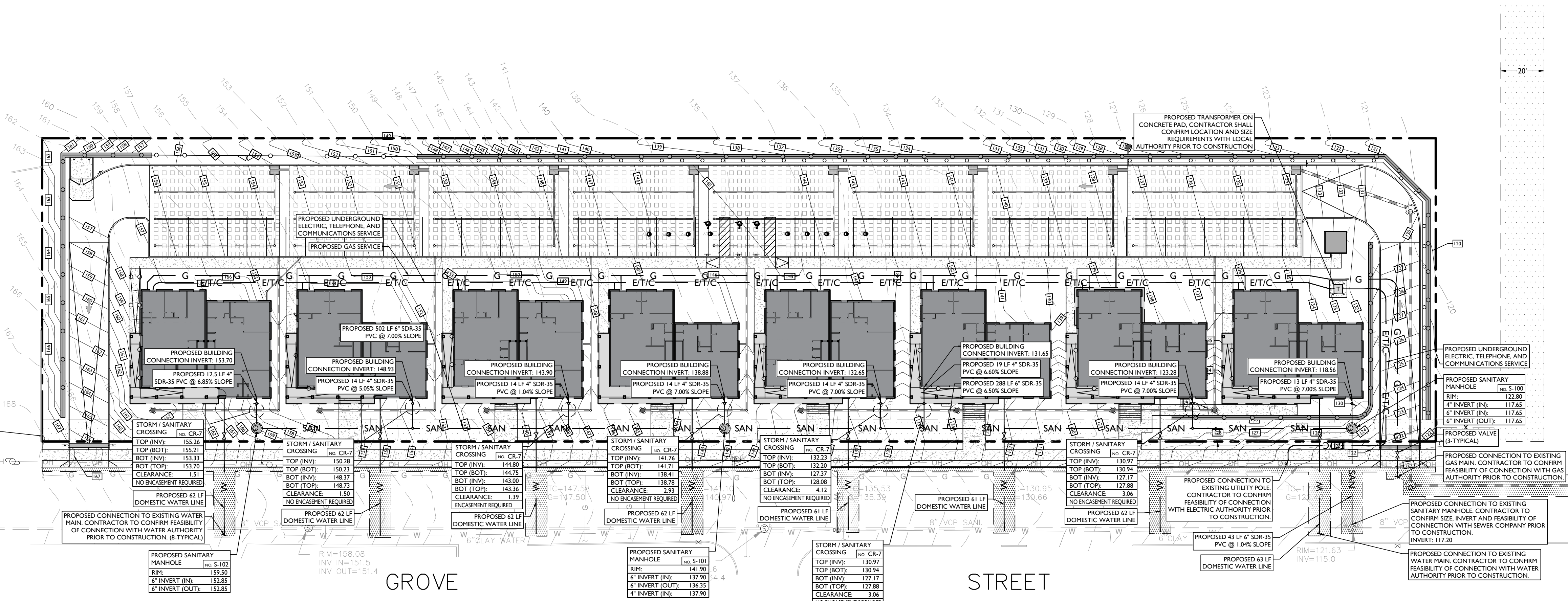
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SCALE: 1" = 30' PROJECT ID: PRI-23101

TITLE: UTILITY PLAN

DRAWING: C-7

- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
 - A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
 - CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADEMENT.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATION OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THIS PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



Z:\PROJECTS\190123\190123101\TOWNHOUSE_ARCHITECTURE - 430 GROVE STREET - NORTH PLAINFIELD, NEW JERSEY\DWG\UTILITY PLAN.DWG



A (WALL PACK)



B (WALL PACK)



C (CANOPY LUMINAIRE)

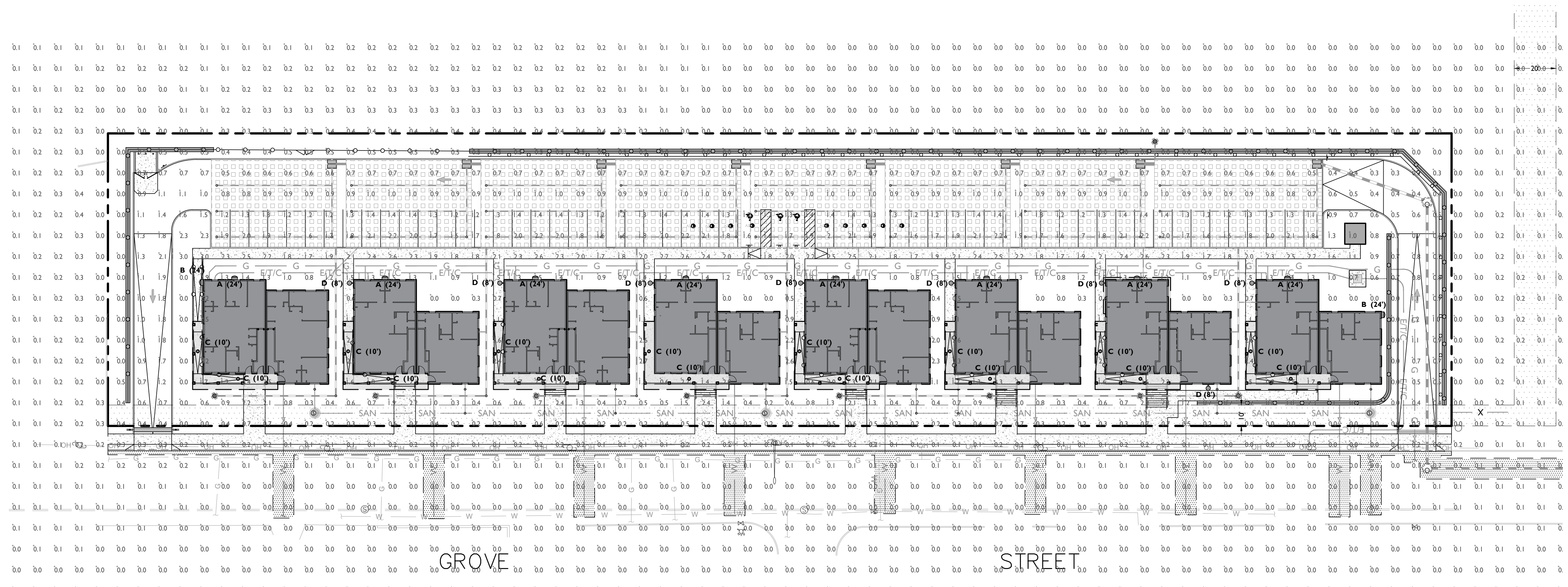
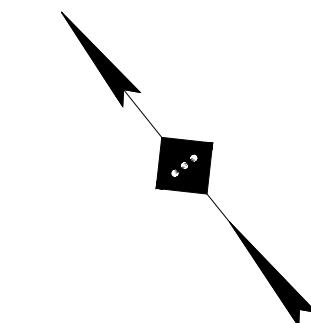


D (WALL PACK)

| PROPOSED LUMINAIRE SCHEDULE | | | | | | | |
|-----------------------------|-------|----------|----------------------------|---------------|-----|-----------------|----------------------------|
| SYMBOL | LABEL | QUANTITY | SECURITY LIGHTING | DISTRIBUTION | LLF | MANUFACTURER | IES FILE |
| | A | 8 | ARCHITECTURAL WALL SCONCE | FT | 0.9 | LITHONIA | WDGE4 LED P1 70CRI RFT 40K |
| | B | 2 | ARCHITECTURAL WALL SCONCE | TYPE III | 0.9 | LITHONIA | WDGE4 LED P1 70CRI R3 40K |
| | C | 16 | EXCURSION CANOPY LUMINAIRE | TYPE V (WIDE) | 0.9 | LSI | EKN-EGLED-03L-T5W-40-70CRI |
| | D | 8 | ARBOR WALL SCONCE | - | 0.9 | COOPER LIGHTING | ABW-BI-LED-DI-A |

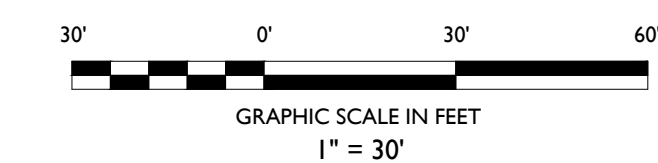
| LIGHTING REQUIREMENTS | | |
|------------------------------|--|----------|
| CODE SECTION | REQUIRED | PROPOSED |
| §22-79.C | STREET LIGHTING: MUST BE INSTALLED IN APPROPRIATE LOCATIONS PER APPROVING AUTHORITY | COMPLIES |
| §22-115.15.E | BEAM ENCROACHMENT/GLARE: LIGHTING MUST BE DESIGNED/SHIELDED AS TO PREVENT BEAM ENCROACHMENT AND GLARE ONTO DWELLINGS OR ROADWAYS | COMPLIES |
| § 22-138.2.I | SITE LIGHTING: STYLE MUST BE COMPATIBLE WITH BUILDING STYLE | 0.3 FC |
| § VILLA MARIA REDEV PLAN 8.C | GLARE: MUST NOT PRODUCE GLARE TO THE PUBLIC | COMPLIES |

| SYMBOL | DESCRIPTION |
|---------|---|
| --- | PROPOSED CALCULATION AREA |
| --- | PROPOSED ISOMETRIC LINE |
| A (XX') | PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT) |
| +xx | PROPOSED LIGHTING INTENSITY (FOOT-CANDLES) |
| | PROPOSED AREA LIGHT |
| | PROPOSED BUILDING MOUNTED LIGHT |



GENERAL LIGHTING NOTES

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



| NO. | DATE | ISSUE | BY | DESCRIPTION |
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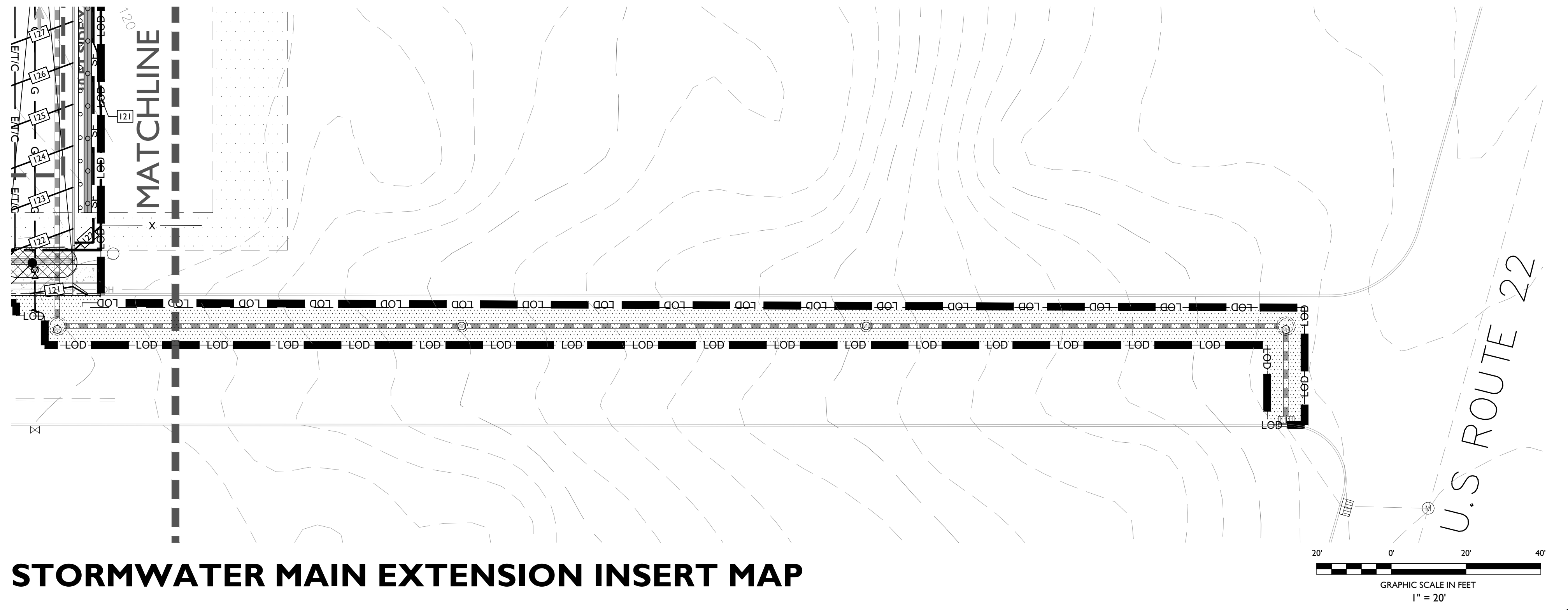
JOSHUA H. KLINE, P.E.
NEW JERSEY LICENSE NO. 54347
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: PRI-23101

TITLE: LIGHTING PLAN

DRAWING: C-8



STORMWATER MAIN EXTENSION INSERT MAP

| SYMBOL | DESCRIPTION |
|-----------|---|
| --- | PROPERTY BOUNDARY |
| - - - | ADJACENT PROPERTY BOUNDARY |
| LOD | PROPOSED LIMIT OF DISTURBANCE |
| SF | PROPOSED SILT FENCE |
| [Pattern] | PROPOSED STOCKPILE & EQUIPMENT STORAGE |
| [Pattern] | PROPOSED STABILIZED CONSTRUCTION ENTRANCE |

THE SUBJECT PROPERTY IS LOCATED WITHIN AN URBAN REDEVELOPMENT AREA (METROPOLITAN PLANNING AREA (PA1)) AND IS THEREFORE EXEMPT FROM COMPACTION REMEDIATION

| SOIL CHARACTERISTICS CHART | |
|----------------------------|----------------------|
| TYPE OF SOIL | DUNELLEN SANDY LOAM |
| PERCENT OF SITE COVERAGE | 100% |
| HYDROLOGIC SOIL GROUP | A |
| DEPTH TO RESTRICTIVE LAYER | > 80 INCHES |
| SOIL PERMEABILITY | 1.98 TO 6.00 IN / HR |
| DEPTH TO WATER TABLE | > 80 INCHES |

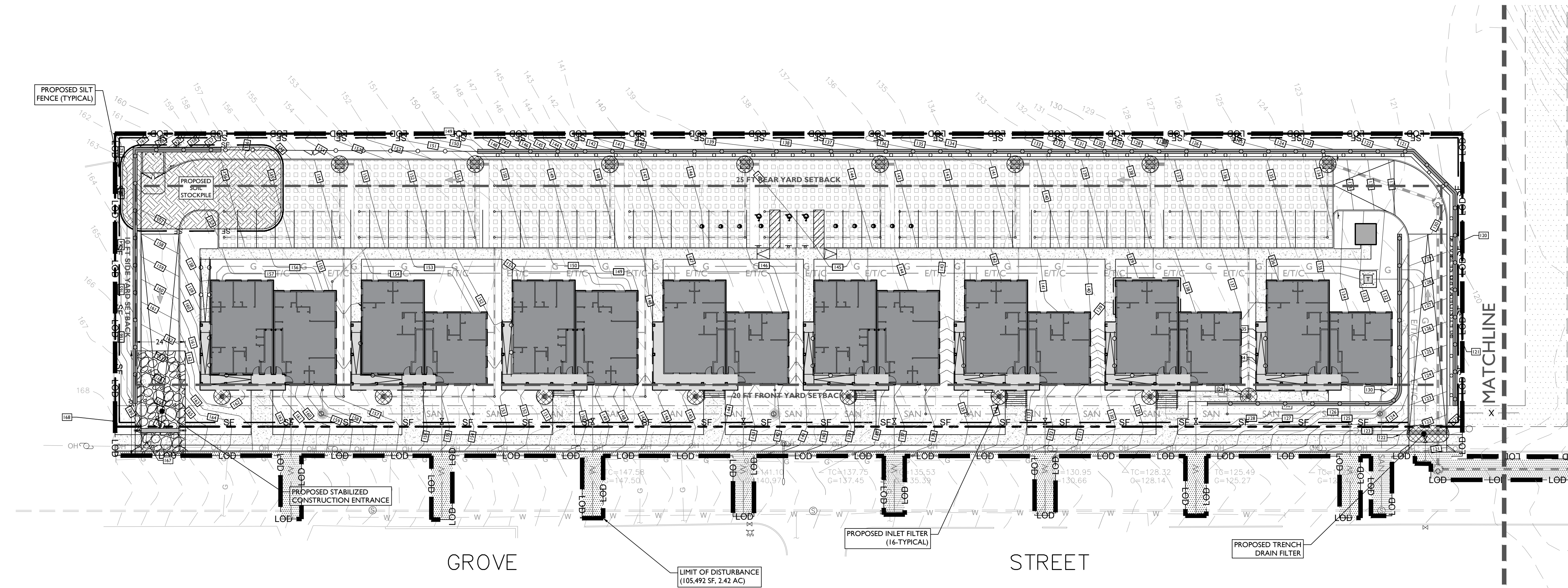
- DUST CONTROL NOTES**
- MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1
 - VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER, PG. 7-1. PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4-1 AND PERMANENT STABILIZATION WITH SOD, PG. 6-1
 - SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.
 - TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN FLOWING ON WINDWARD SIDE OF SITE. CHisel-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
 - SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
 - BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
 - CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
 - STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

- STABILIZATION SPECIFICATIONS:**
- TEMPORARY SEEDING AND MULCHING:
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER - APPLY 11 LBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - PERENNIAL RYEGRASS 100 LBS./ACRE (2.3 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
 - PERMANENT SEEDING AND MULCHING:
TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER - APPLY 11 LBS./1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 350 LBS./ACRE (8 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDINGS REQUIRE IRRIGATION).
MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

- SOIL EROSION AND SEDIMENT CONTROL NOTES**
- THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
 - THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.

SOMERSET-UNION SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NJ STATE STANDARDS.
- PERMANENT VEGETATION SHALL BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NJ STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 7TH EDITION (LAST REVISED JANUARY 2014).
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO THE NJ STATE STANDARDS.
- ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
- TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 50'X30'X6" PAD OF 1 1/2" OR 2" STONE, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
- THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
- AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES.
- IN THAT NJSA 4:24-39 ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT NJ STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.
- THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.
- MULCHING TO THE NJ STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONALS ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN THROUGHOUT THE LIFE OF CONSTRUCTION PROJECT.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.
- HYDRO SEEDING IS A TWO-STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY. GOOD SEED TO SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF SEEDING OPERATION, HYDRO-MULCH SHOULD BE APPLIED AT A RATE OF 1500 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDRO-MULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE NJ STANDARDS.



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PRELIMINARY & FINAL MAJOR SITE PLAN

VILLANI REALTY GROUP

PROPOSED RESIDENTIAL DEVELOPMENT

BLOCK 110, LOT 202 TO 213
430 GROVE STREET
BOROUGH OF NORTH PLAINFIELD
SOMERSET COUNTY, NEW JERSEY

JOSHUA H. KLINE, P.E.
NEW JERSEY LICENSE No. 54347
LICENSED PROFESSIONAL ENGINEER

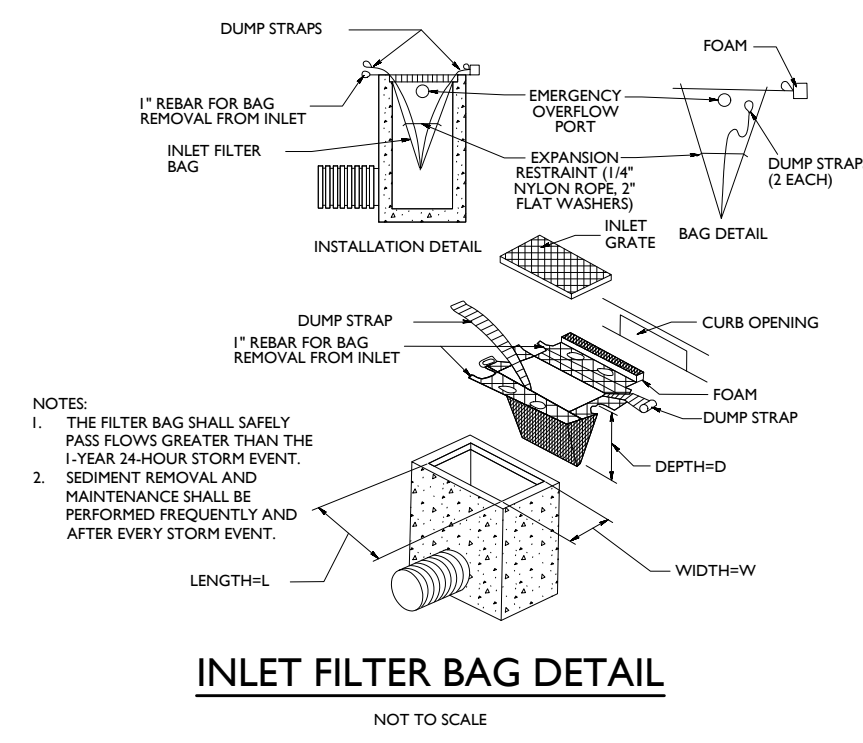
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SCALE: 1" = 30' PROJECT ID: PRI-231010

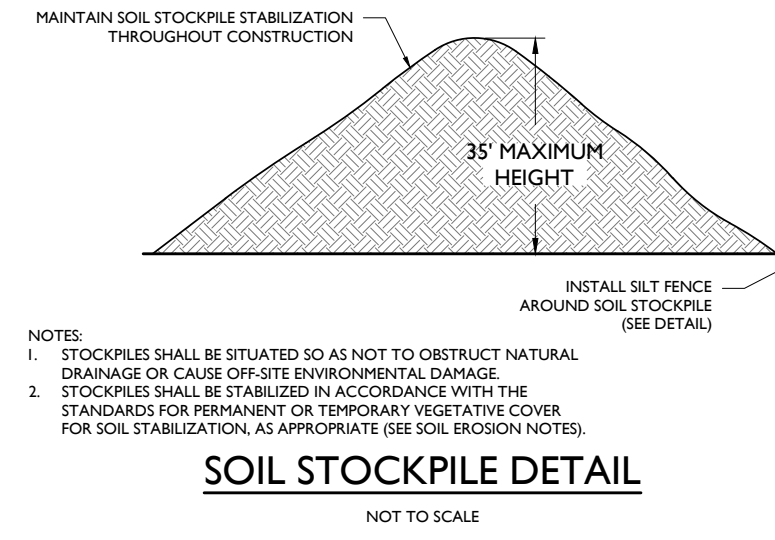
TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN

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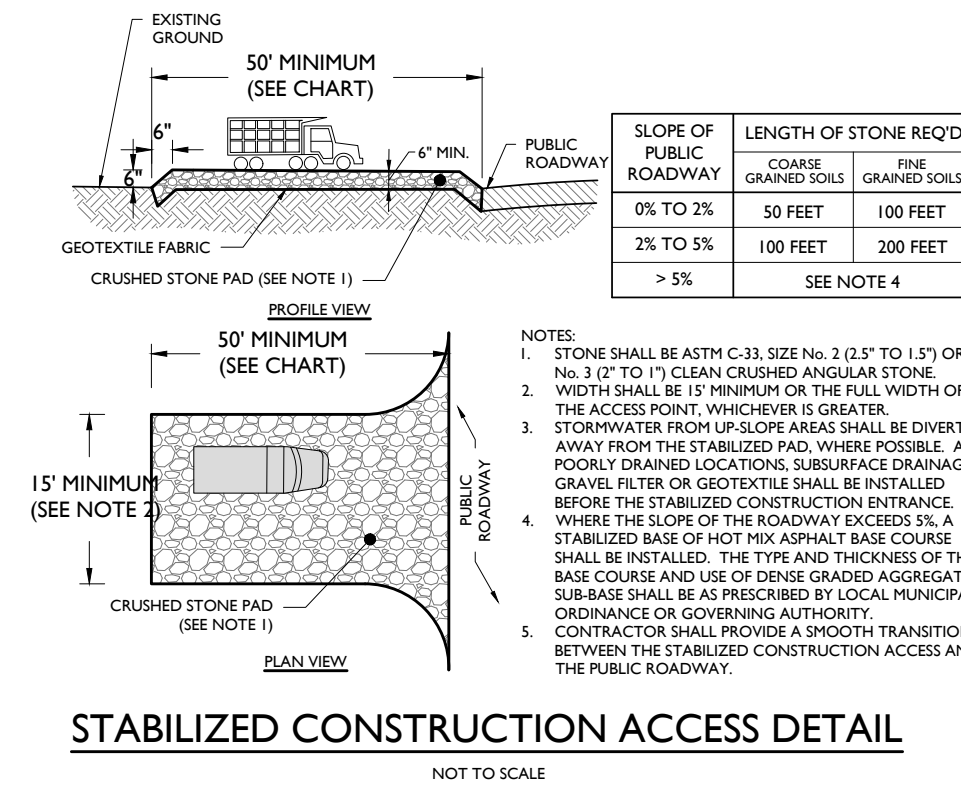
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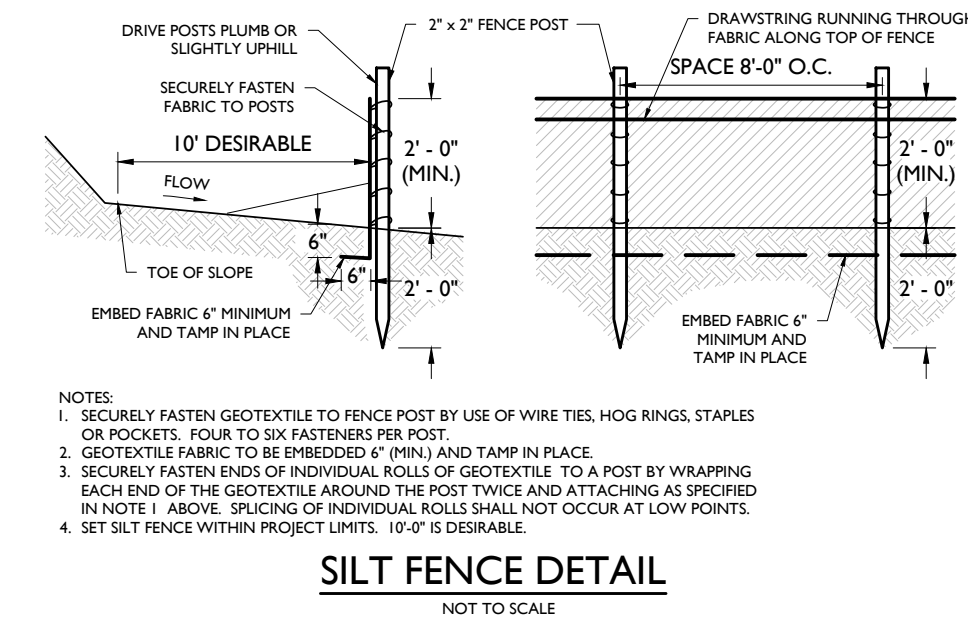
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SCALE: NTS PROJECT ID: PRI-23101

TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN DETAILS

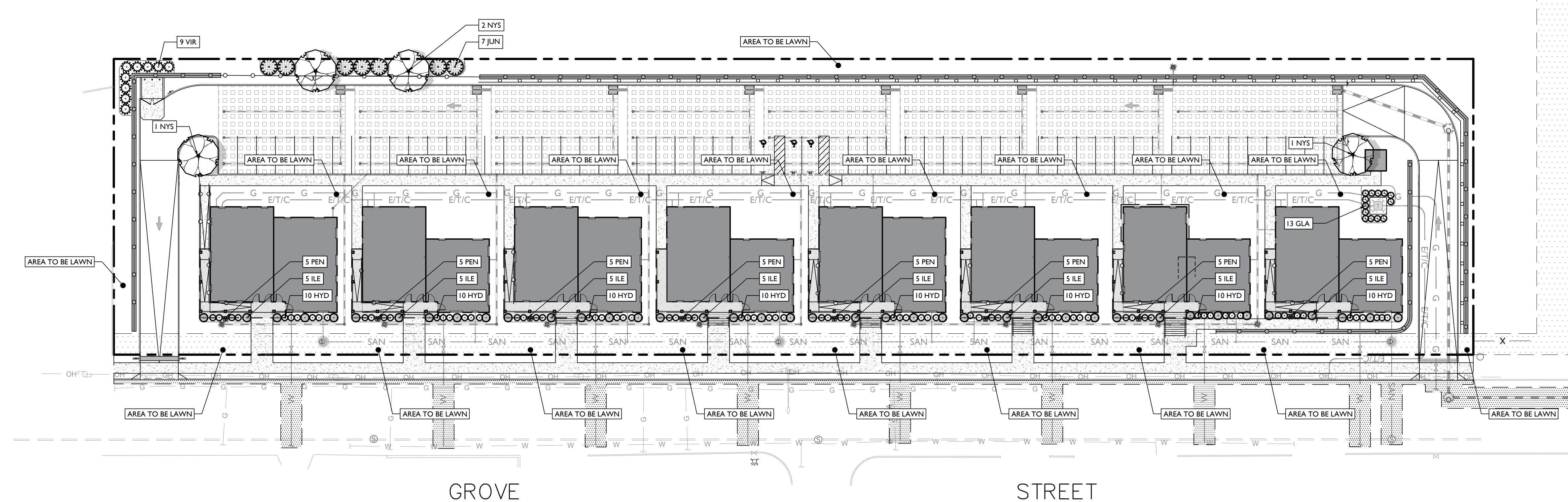
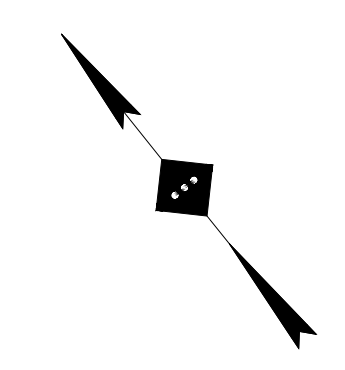
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| LANDSCAPING REQUIREMENTS | | |
|--------------------------|---|----------------------|
| CODE SECTION | REQUIRED | PROPOSED |
| § 22-79.k | SHADE TREES (2) NEW SHADE TREES SHALL BE INSTALLED ON EACH LOT | 2 TREES |
| § 22-82.7 | SCREENING REQUIREMENTS OUTDOOR RECYCLING AREA: LANDSCAPING AND/OR FENCING | LANDSCAPING PROVIDED |
| § 22-117.5.K | OFF-STREET PARKING LANDSCAPING ALL PORTIONS OF PROPERTY NOT USED FOR OFF-STREET PARKING MUST BE LANDSCAPED | COMPLIES |

| PLANT SCHEDULE | | | | | | |
|------------------|------|-----|--|------------------------------------|---------------|-----------|
| SYMBOL | CODE | QTY | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER |
| DECIDUOUS TREES | | | | | | |
| | NYS | 4 | NYSSA SYLVATICA | TUPELO | 2.5" - 3" CAL | B&B |
| EVERGREEN TREES | | | | | | |
| | JUN | 7 | JUNIPERUS VIRGINIANA | EASTERN RED CEDAR | 5' - 6' HT | B&B |
| | VIR | 9 | JUNIPERUS VIRGINIANA 'J.N. SELECT GREEN' | EMERALD FEATHER™ EASTERN RED CEDAR | 5' - 6' HT | B&B |
| SHRUBS | | | | | | |
| | HYD | 80 | HYDRANGEA PANICULATA 'JANE' | LITTLE LIME PANICLE HYDRANGEA | 18" - 24" | POT |
| EVERGREEN SHRUBS | | | | | | |
| | ILE | 40 | ILEX CRENATA 'CHESAPEAKE' | CHESAPEAKE JAPANESE HOLLY | 18" - 24" | POT |
| | GLA | 13 | ILEX GLABRA 'COMPACTA' | COMPACT INKBERRY | 18" - 24" | POT |
| GRASSES | | | | | | |
| | PEN | 40 | PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' | LITTLE BUNNY FOUNTAIN GRASS | 1 GAL. | POT |

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.



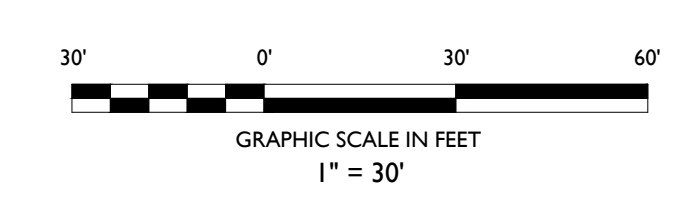
SURVEY PERFORMED BY CONTROL POINT ASSOCIATES, INC. FOR TAYLOR ARCHITECTURE DATED: 09/24/2020



IRRIGATION NOTE:
IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON-SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

LANDSCAPING NOTES

- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
- THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
- THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



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SCALE: 1" = 30' PROJECT ID: PRI-23101

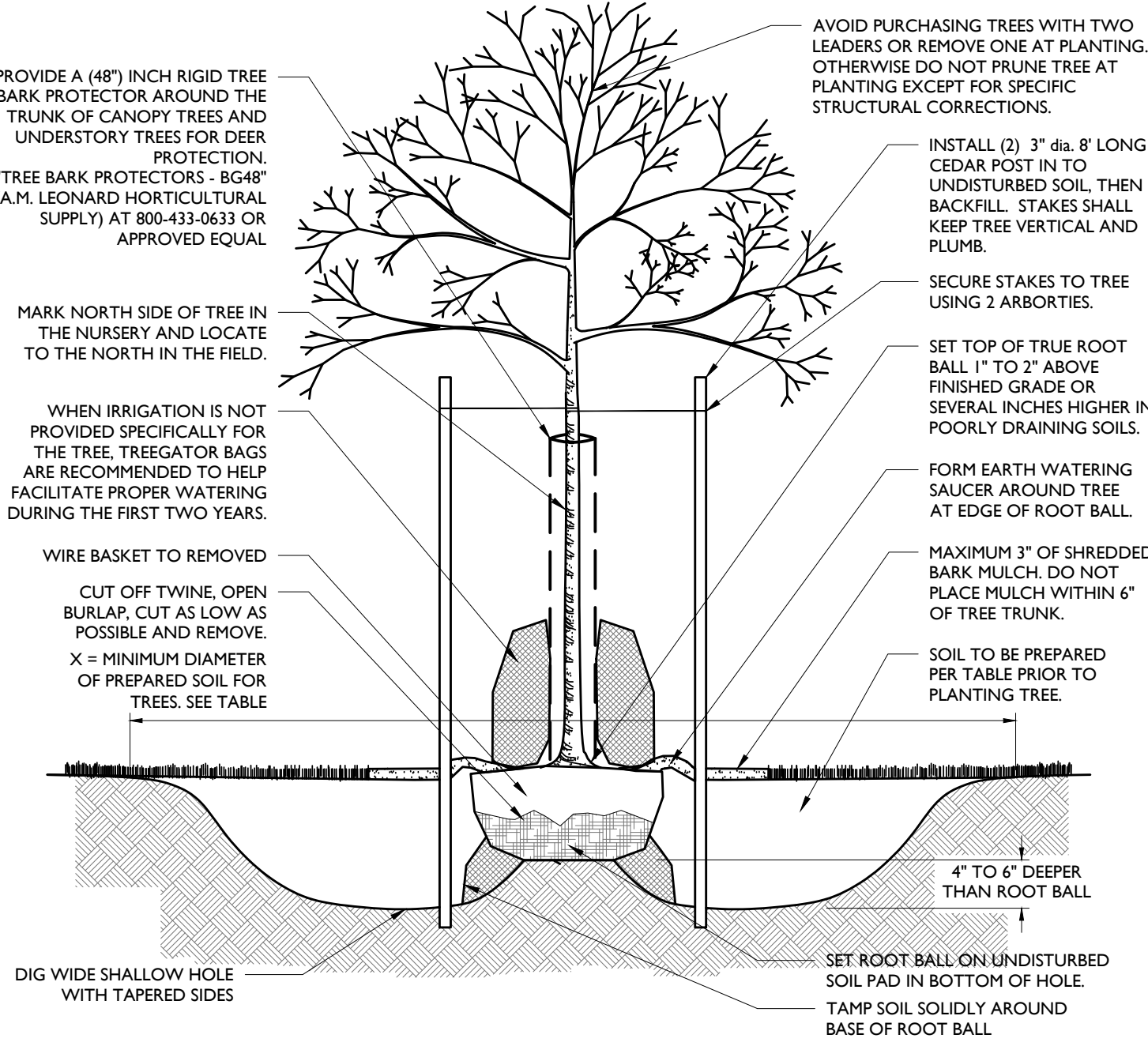
TITLE:
LANDSCAPING PLAN

DRAWING:
C-11

2: P:\PROJECTS\2023\23101\110 GROVE STREET - NORTH PLAINFIELD, NJ\CD\23101.DWG

NOTES:

- 1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL...

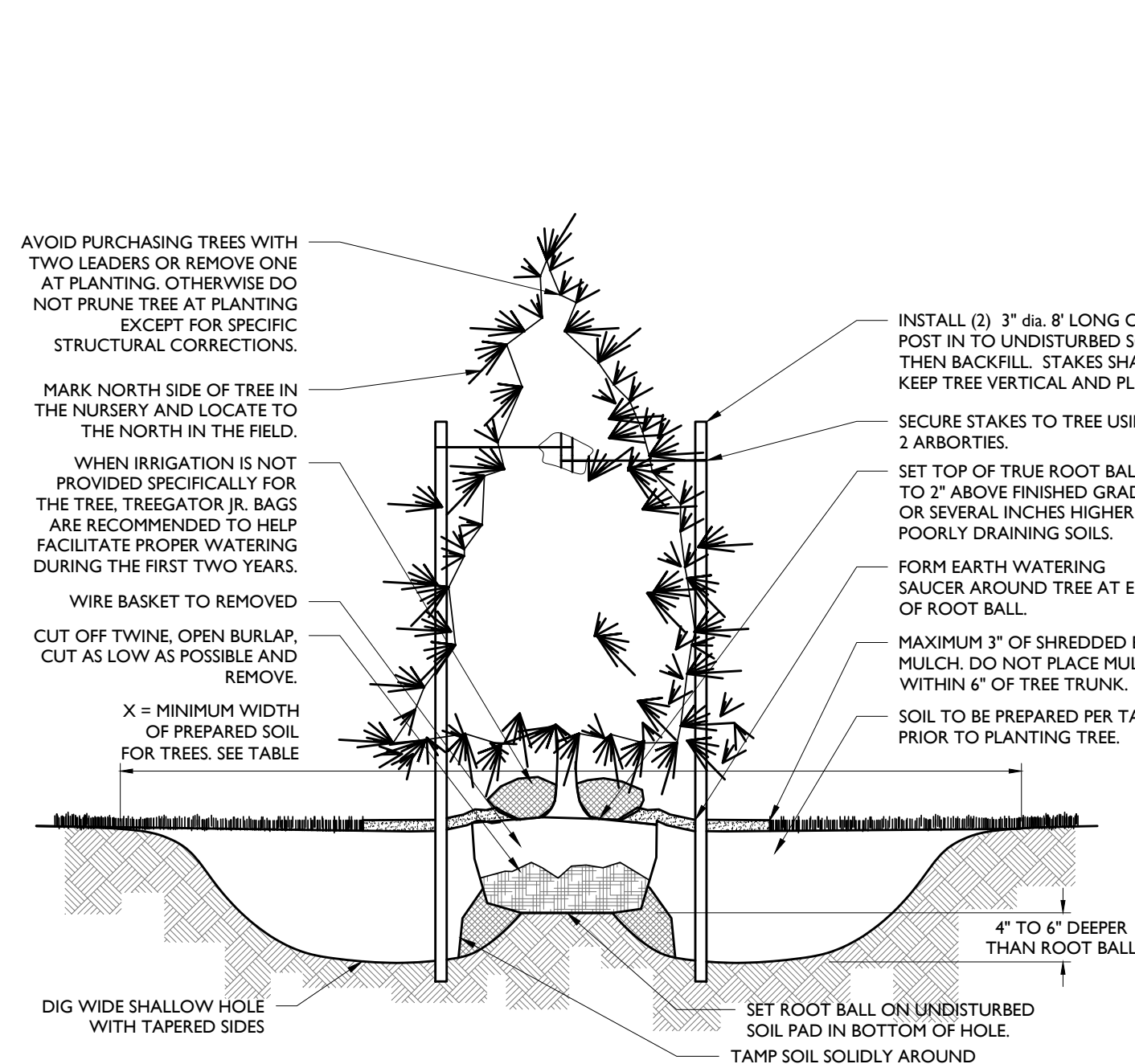


DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

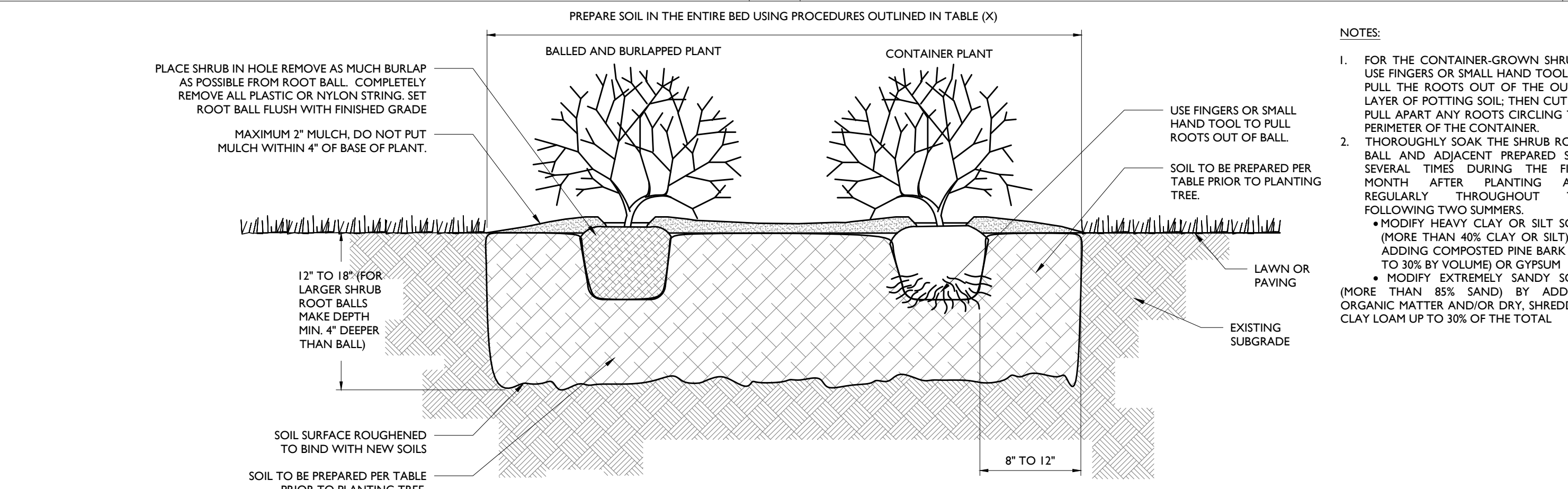
NOTES:

- 1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL...



CONIFEROUS TREE PLANTING DETAIL

NOT TO SCALE

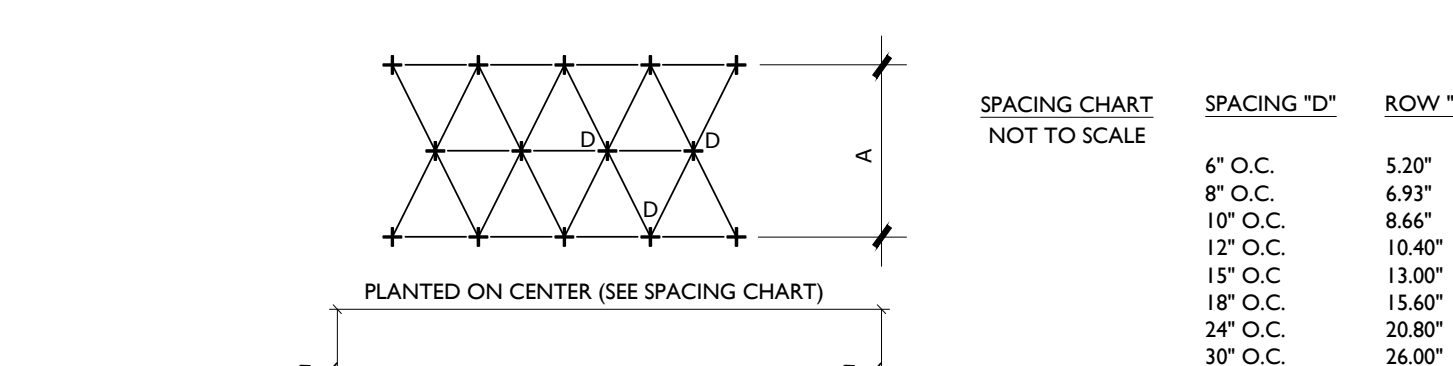


DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE

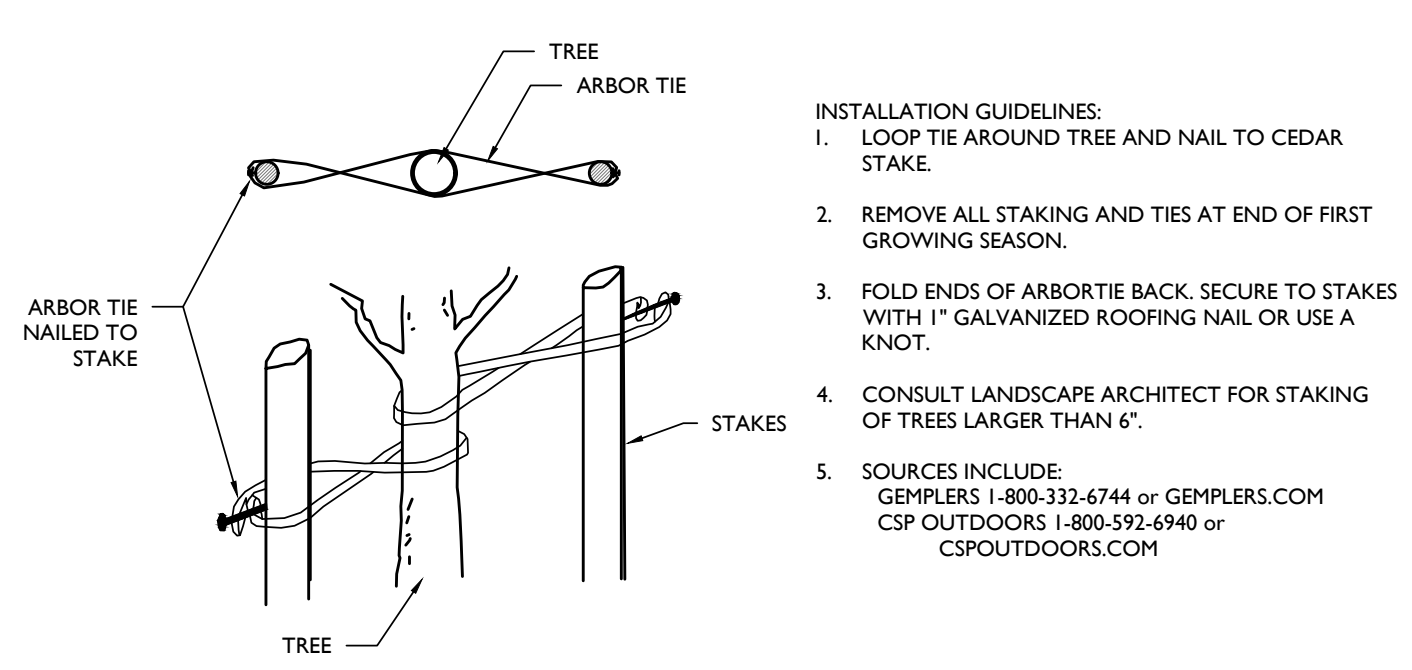
NOTES:

- 1. THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING...



GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL

NOT TO SCALE



ARBOR TIE DETAIL

NOT TO SCALE

GENERAL LANDSCAPING NOTES:

- 1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER...

PROTECTION OF EXISTING VEGETATION NOTES:

- 1. BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING...

SOIL PREPARATION AND MULCH NOTES:

- 1. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING...

PLANT QUALITY AND HANDLING NOTES:

- 1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.

Table with 3 columns: Plant Name, Variety, and Notes. Lists various plants like Abies, Acer, Betula, etc.

- 17. IF A PROPOSED PLANT IS UNAVAILABLE OR ON THE FALL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT...

PLANT MATERIAL GUARANTEE NOTES:

- 1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (1 YR) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER...

LAWN (SEED OR SOD) NOTES:

- 1. SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.

Table for Irrigation during Establishment with columns: Size at Planting, Irrigation for Vitality, Irrigation for Survival.

- 1. AT EACH IRRIGATION APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL...

Table for Municipal Submission with columns: Issue, Date, By.

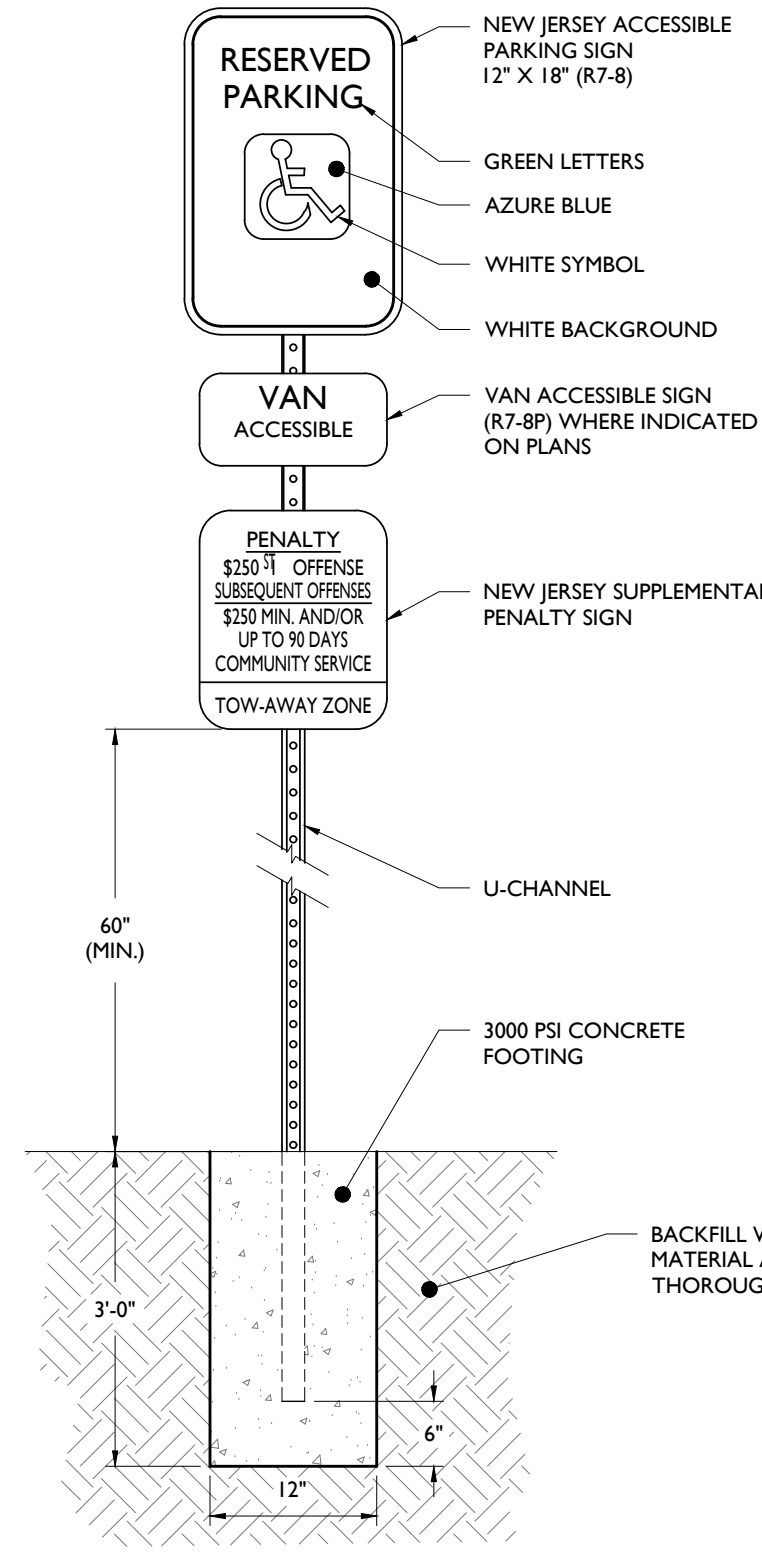
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STONEFIELD engineering & design logo and contact information for Rutherford, NJ and Princeton, NJ.

VILLANI REALTY GROUP logo and address: 110 LOT 2.02 TO 2.13 BOROUGH OF NORTH PLAINFIELD SOMERSET COUNTY, NEW JERSEY.

PROPOSED RESIDENTIAL DEVELOPMENT logo and contact information for Joshua H. Kline, P.E.

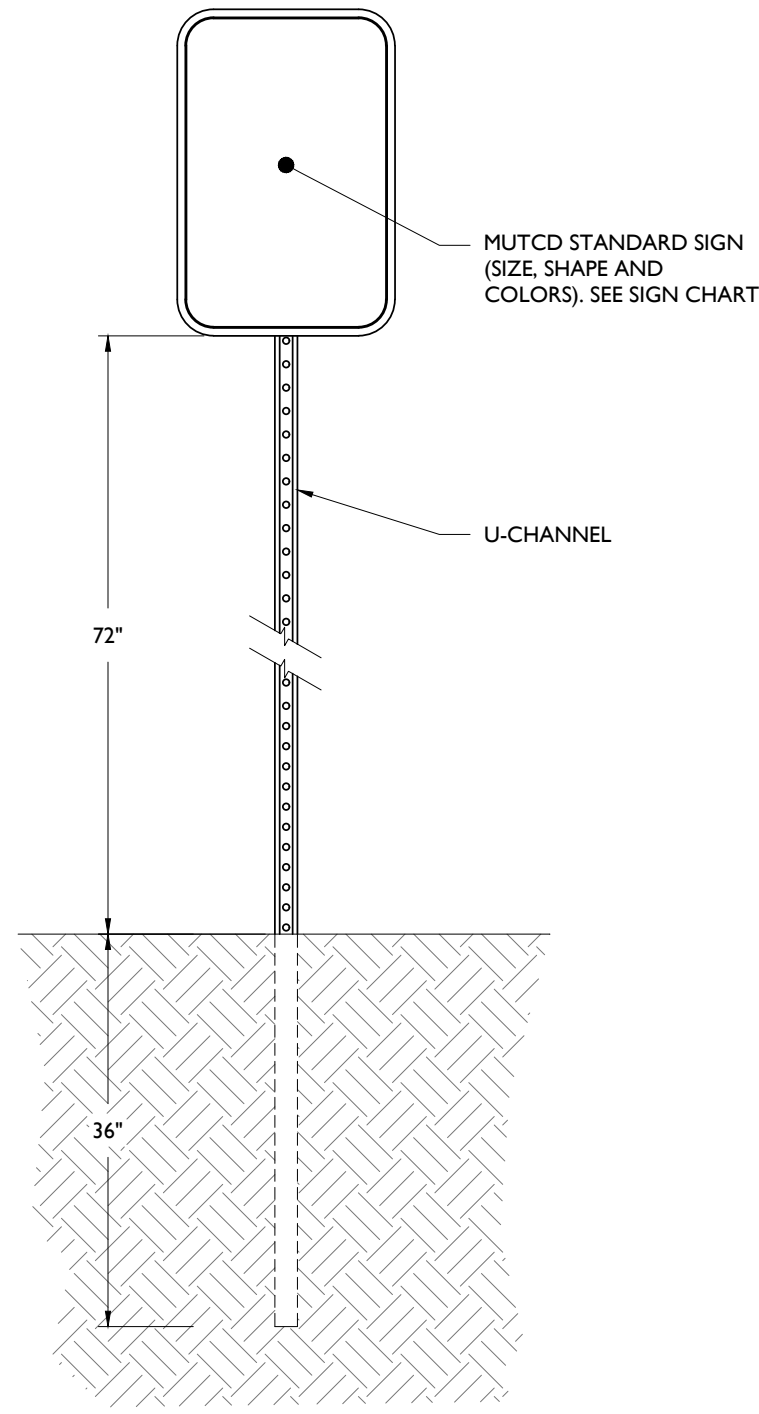
STONEFIELD engineering & design logo, scale, project ID, title, drawing ID (C-12).



ACCESSIBLE PARKING SIGN DETAIL

NOT TO SCALE

1



SIGN POST DETAIL

NOT TO SCALE

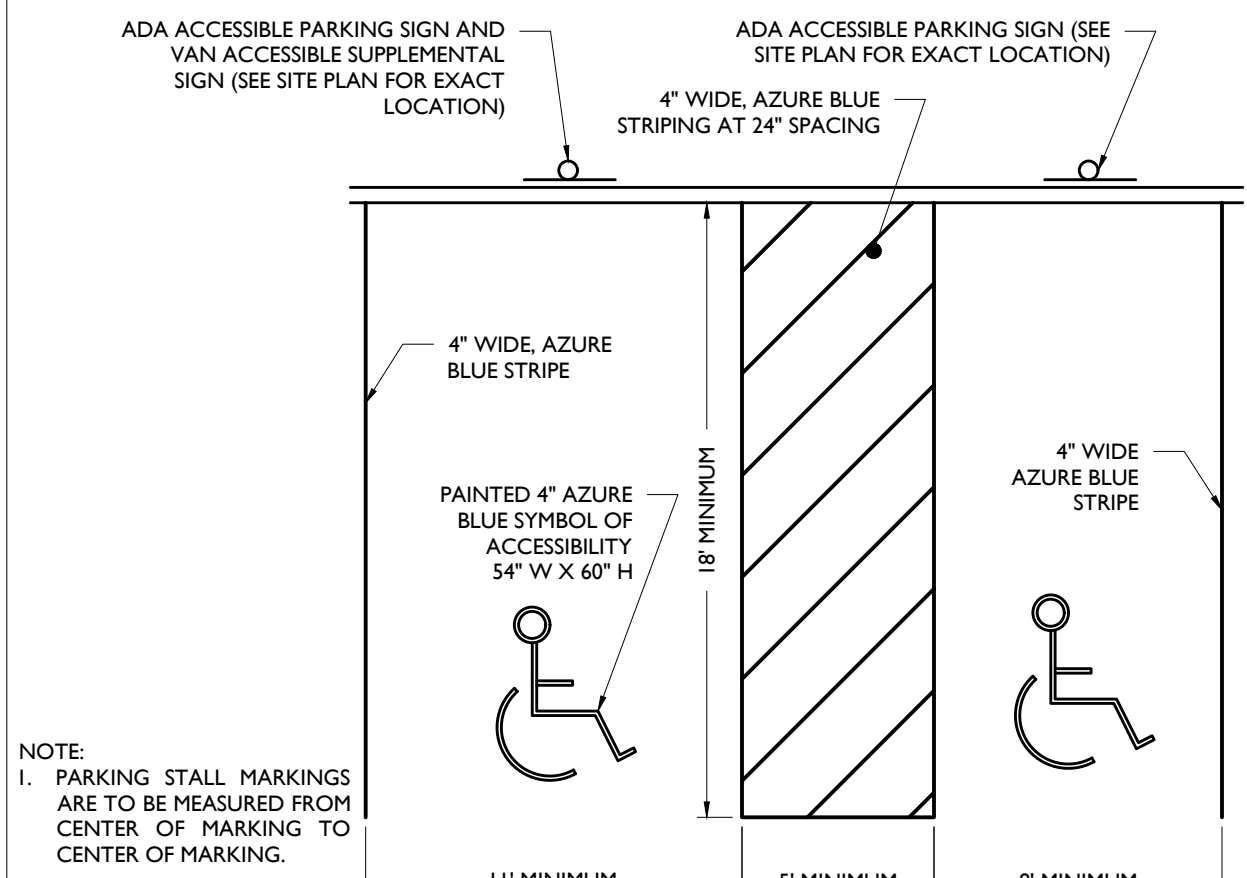
2

| M.U.T.C.D. NUMBER | TEXT | COLOR | | SIZE OF SIGN (WIDTH X HEIGHT) | TYPE OF MOUNT |
|---------------------|------|--------|------------|-------------------------------|---------------|
| | | LEGEND | BACKGROUND | | |
| STOP SIGN (R1-1) | | WHITE | RED | 36"x36" | GROUND |
| DO NOT ENTER (R5-1) | | RED | WHITE | 30"x30" | GROUND |
| RECYCLING AREA | | GREEN | WHITE | 10"x12" | GROUND |

SIGN DATA TABLE

NOT TO SCALE

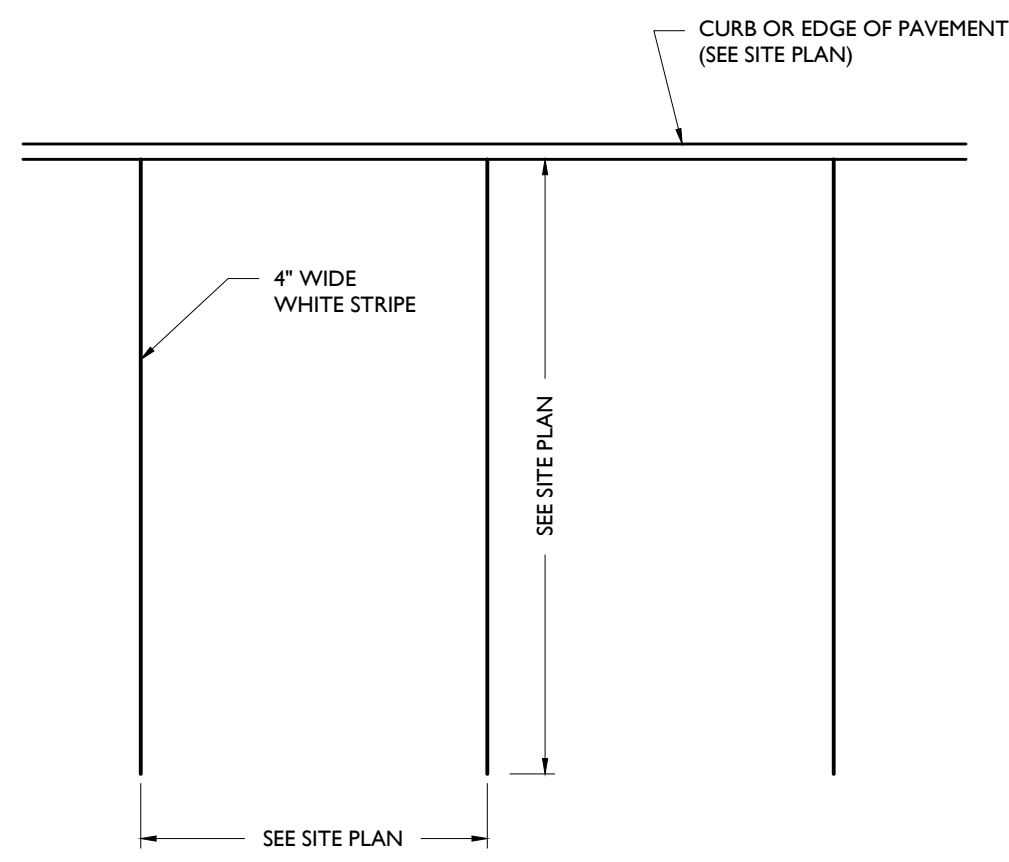
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ACCESSIBLE PARKING STALL MARKINGS

NOT TO SCALE

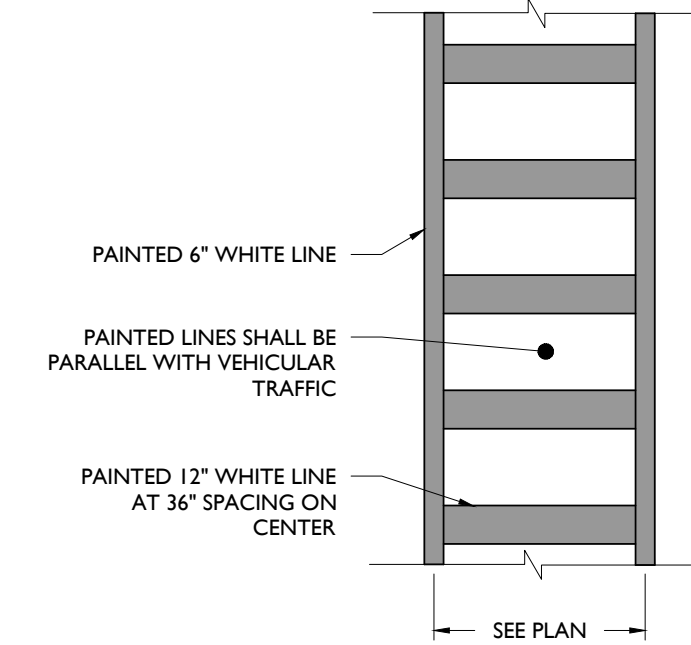
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PARKING STALL MARKINGS

NOT TO SCALE

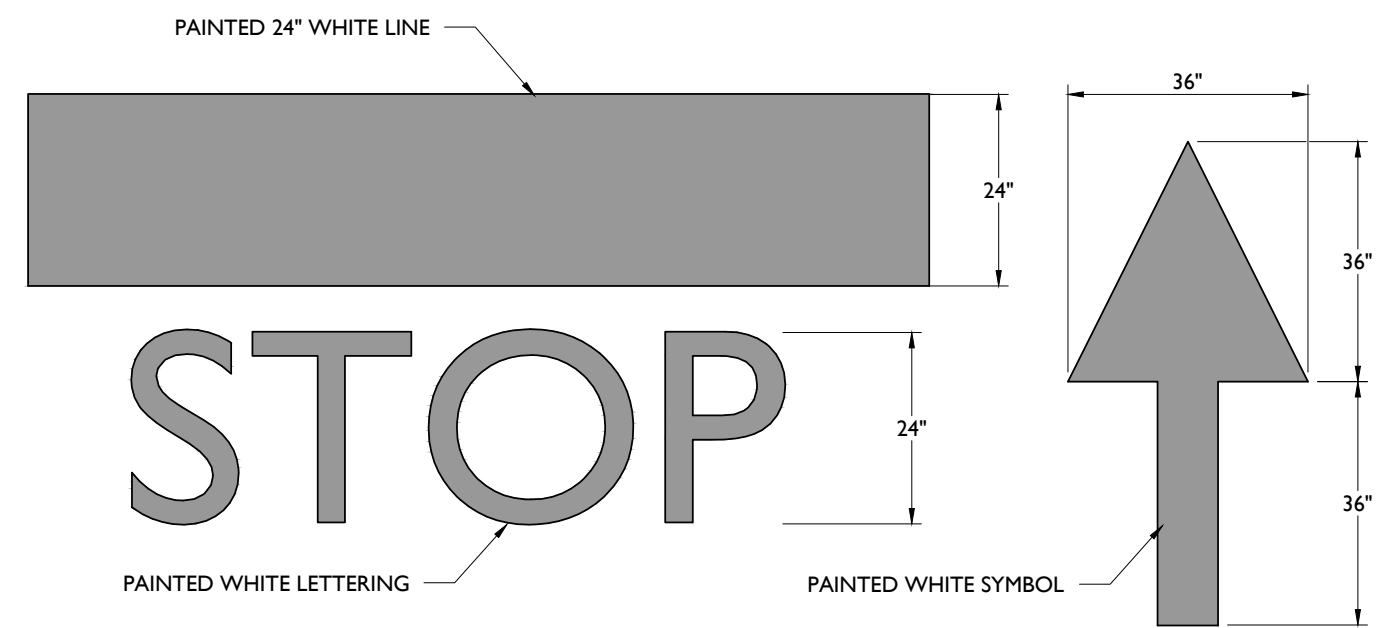
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CROSSWALK DETAIL

NOT TO SCALE

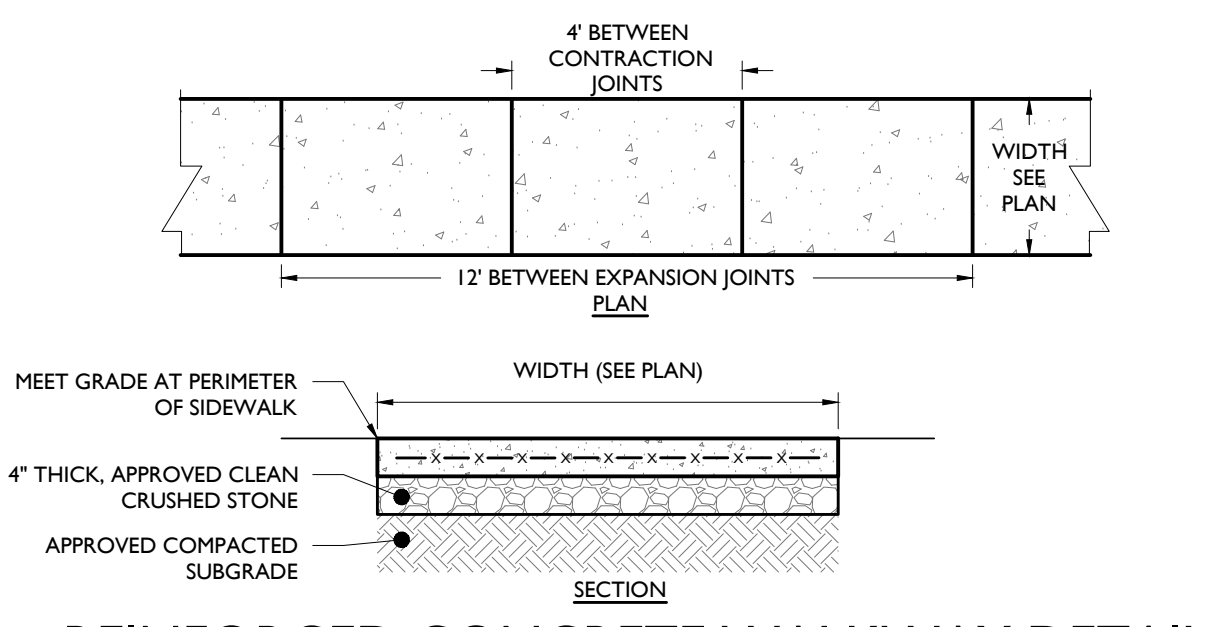
6



STOP BAR & ARROW DETAILS

NOT TO SCALE

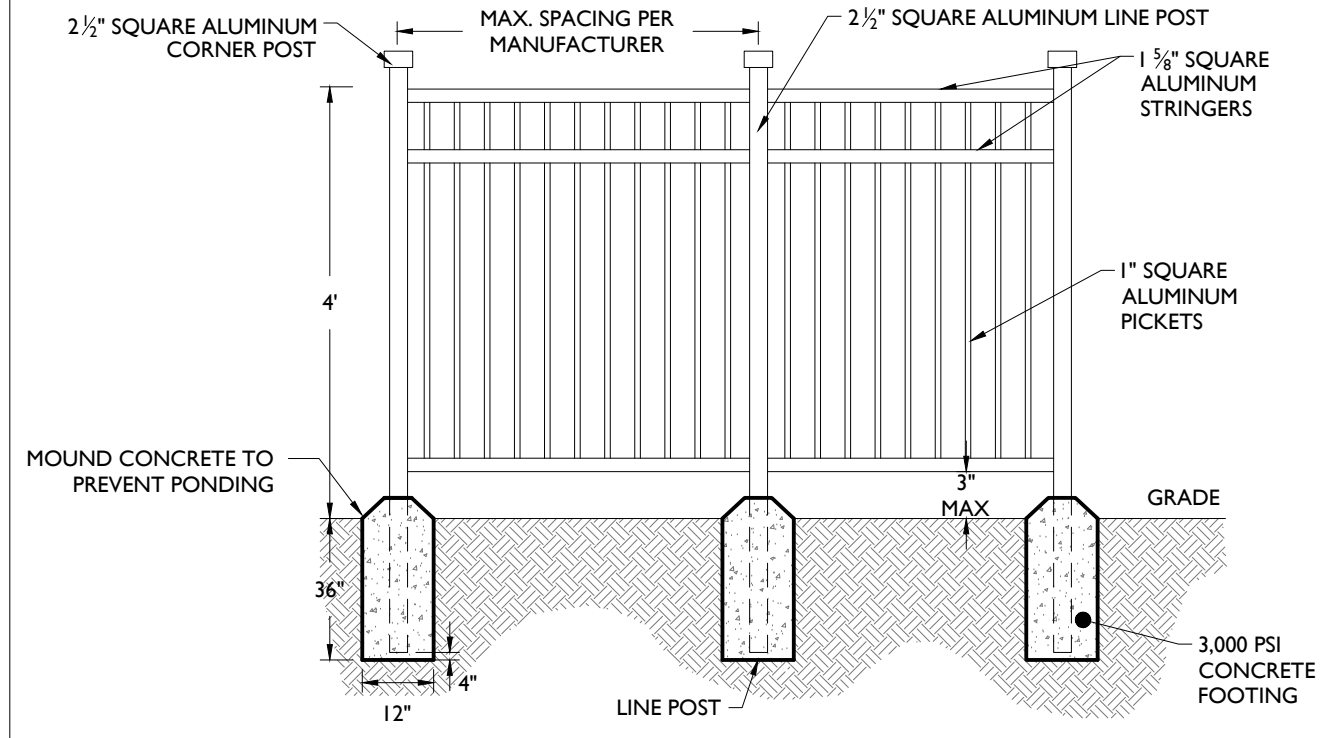
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REINFORCED CONCRETE WALKWAY DETAIL

NOT TO SCALE

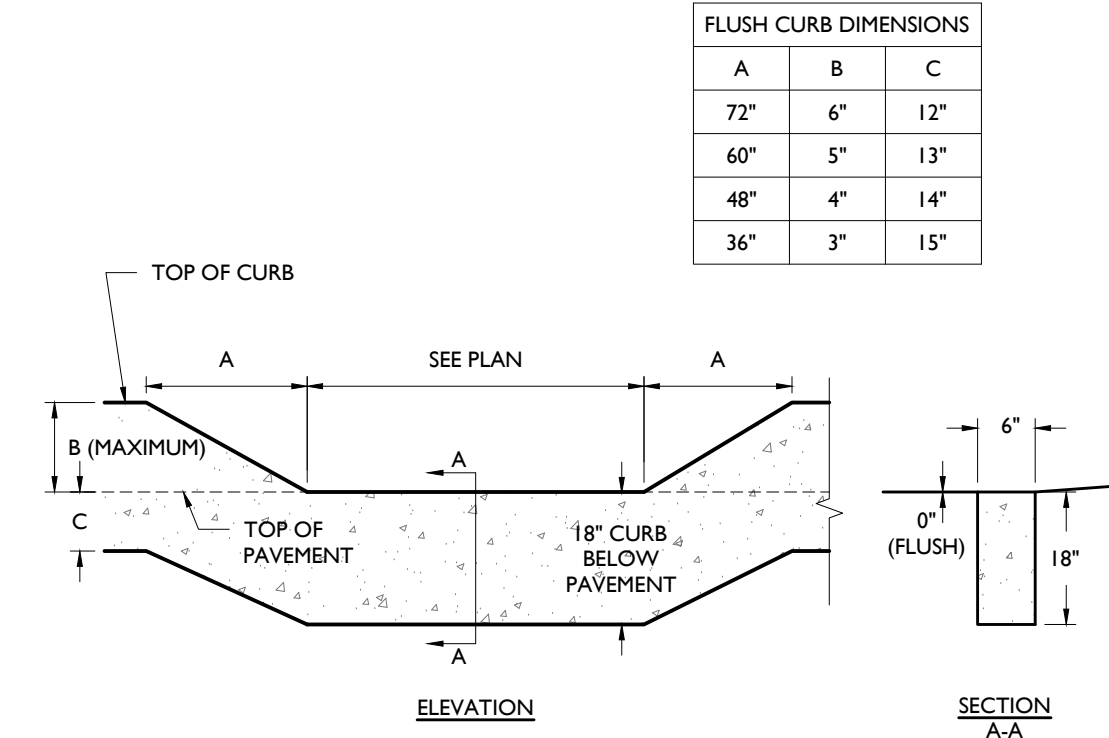
8



WROUGHT IRON FENCE

NOT TO SCALE

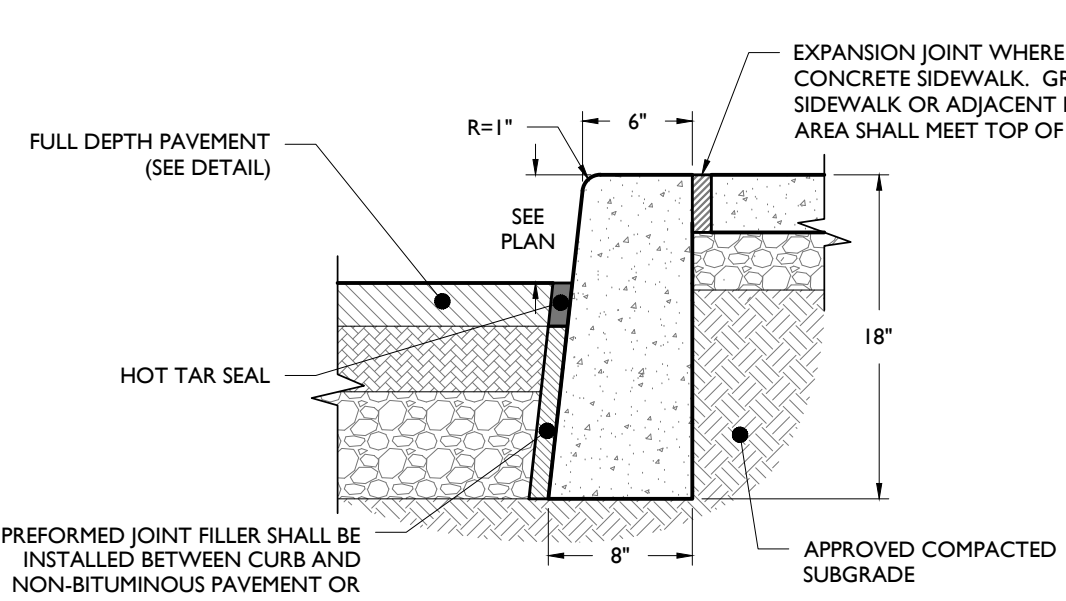
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FLUSH CURB DETAIL

NOT TO SCALE

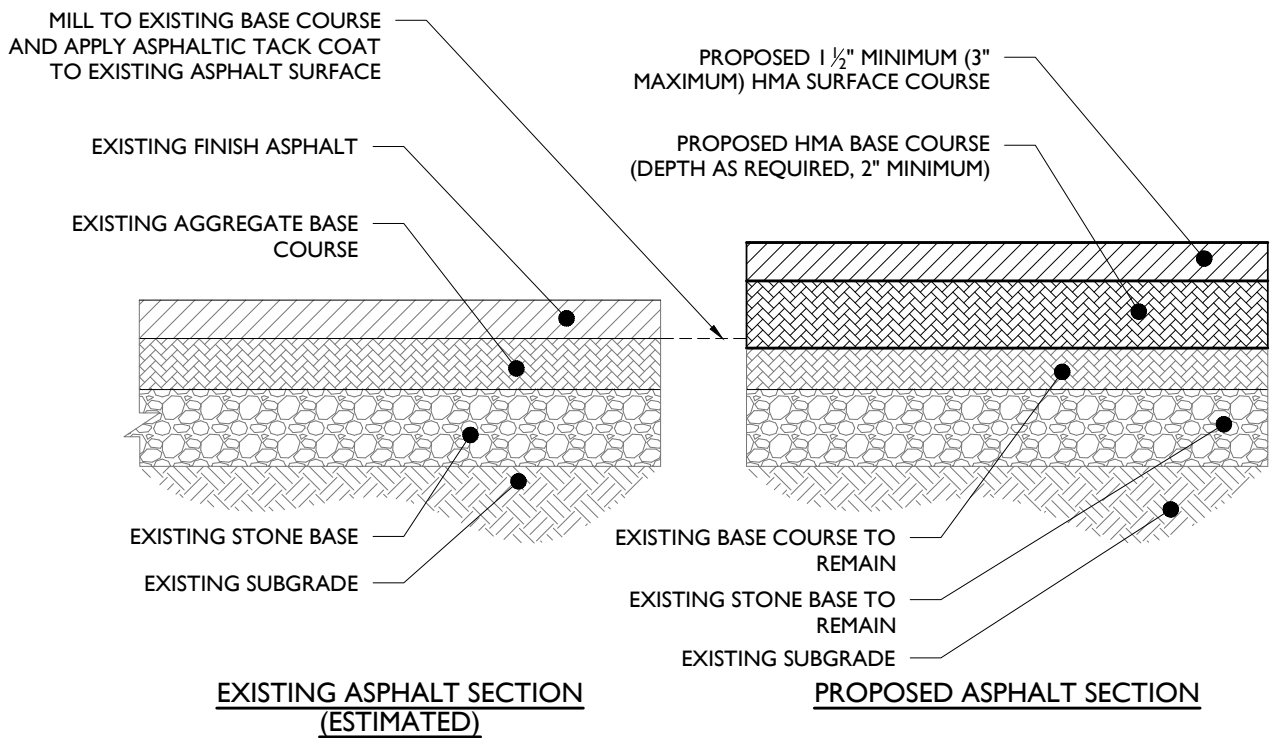
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CONCRETE CURB DETAIL

NOT TO SCALE

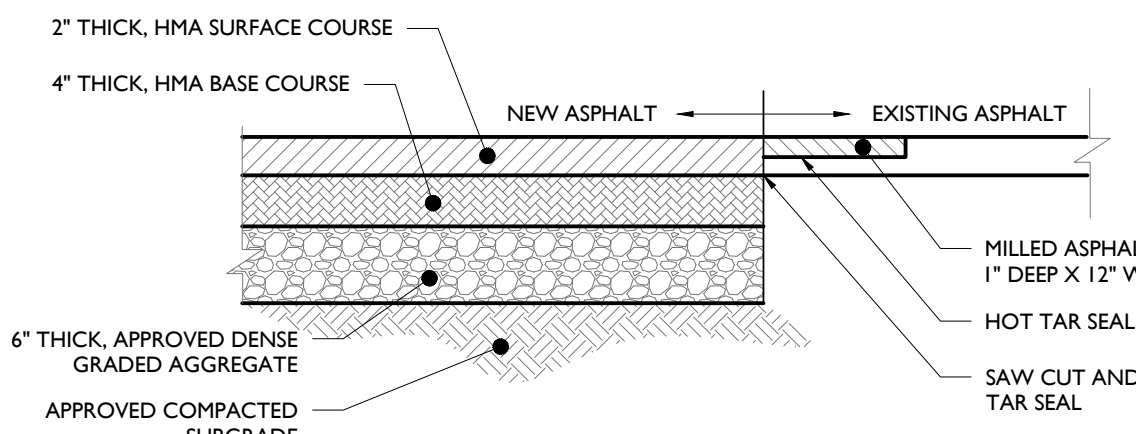
11



PAVEMENT MILLING & OVERLAY DETAIL WHEN GRADE CHANGE EXCEEDS 3" (FILL)

NOT TO SCALE

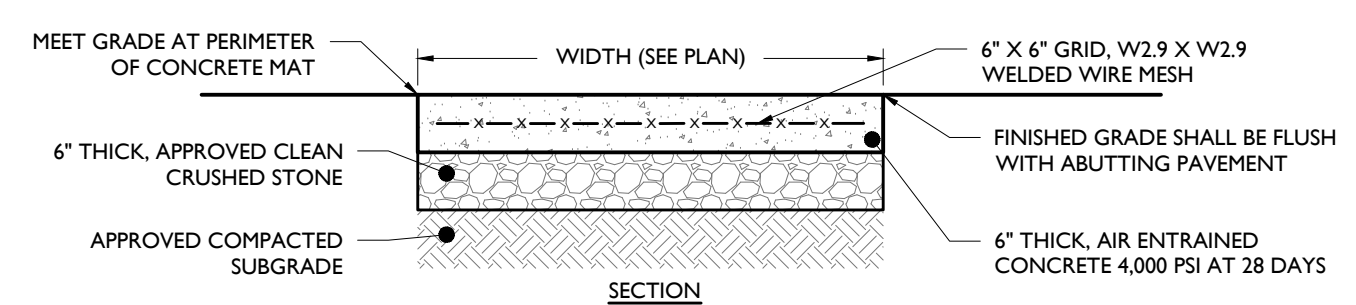
12



FULL DEPTH ASPHALT PAVEMENT DETAIL

NOT TO SCALE

13



REINFORCED 6" CONCRETE MAT

NOT TO SCALE

14

2-PHASED: 10/20/2019 TO 10/20/2020 TAYLOR ARCHITECTURE - 400 GROVE STREET, NORTH PLAINFIELD, NEW JERSEY 07063

- NOTES:
- CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 - TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM SURFACE.
 - HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 - 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

| DATE | ISSUE | BY | DESCRIPTION |
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| 10/18/2024 | 1 | EGB | FOR MUNICIPAL SUBMISSION |

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PRELIMINARY & FINAL MAJOR SITE PLAN

VILLANI REALTY GROUP

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BLOCK 110, LOT 2.02 TO 2.13
430 GROVE STREET
BOROUGH OF NORTH PLAINFIELD
SOMERSET COUNTY, NEW JERSEY

JOSHUA H. KLINE, P.E.
NEW JERSEY LICENSE No. 54347
LICENSED PROFESSIONAL ENGINEER

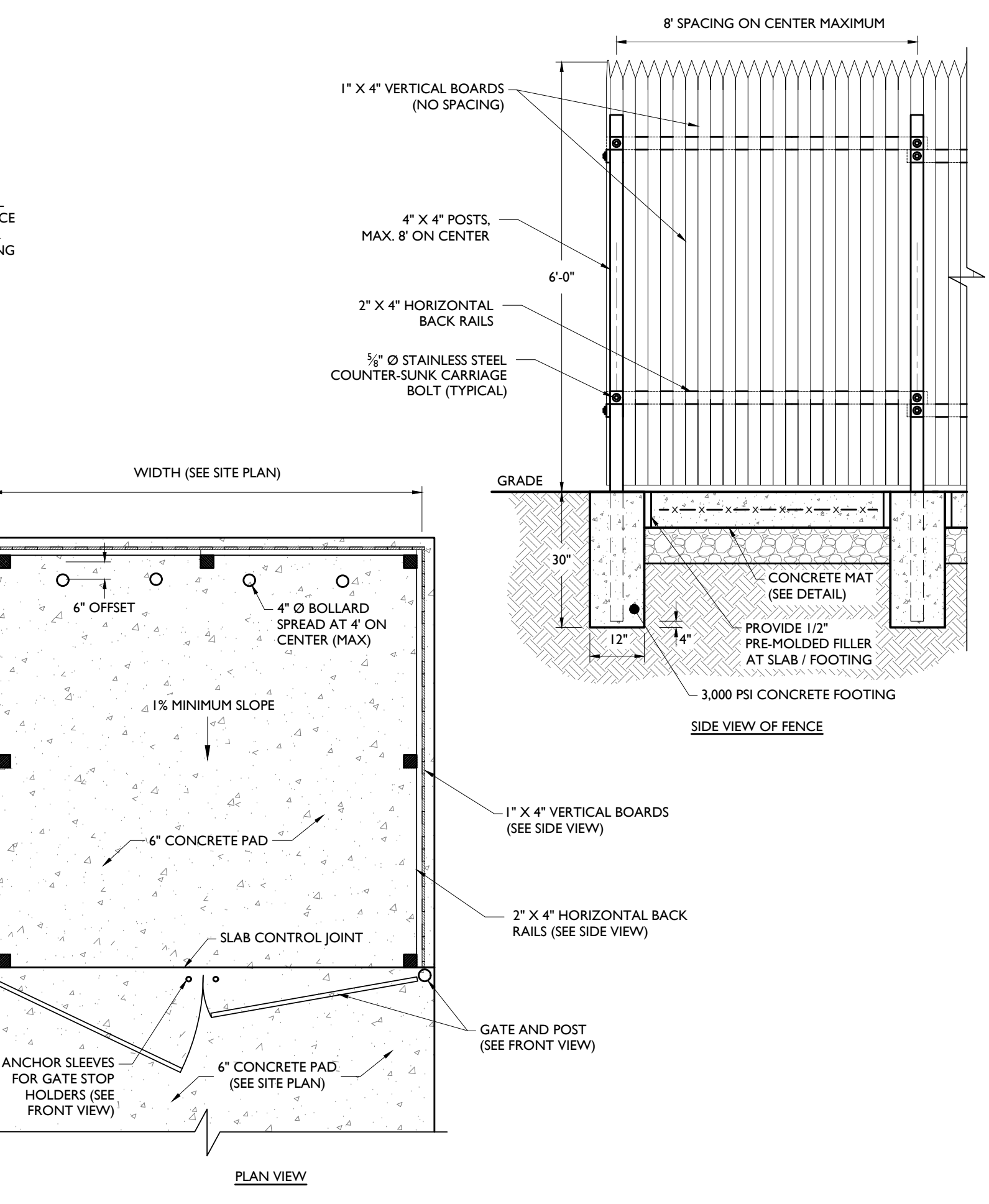
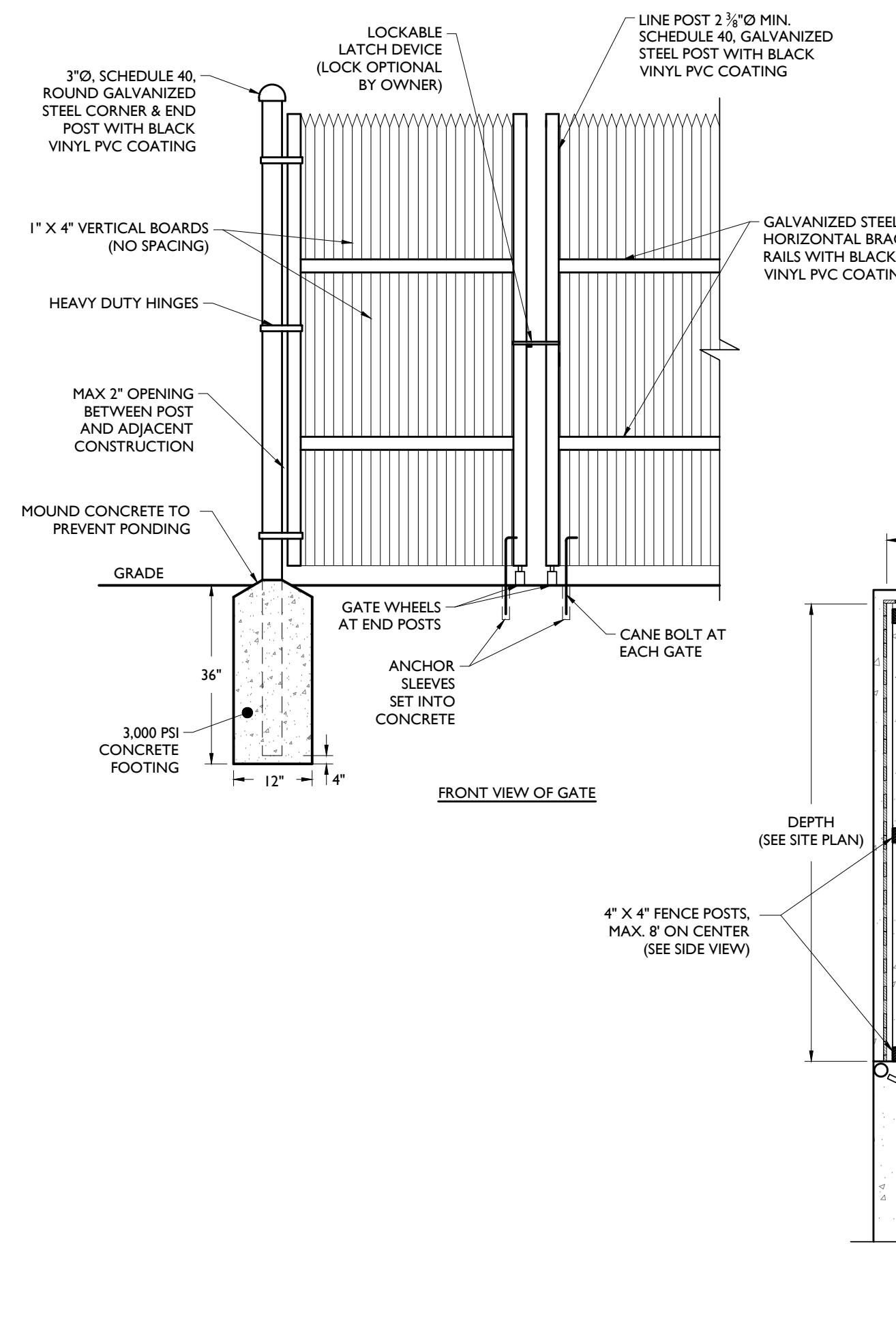
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SCALE: 1" = 30' PROJECT ID: PRI-23101

TITLE:
CONSTRUCTION DETAILS

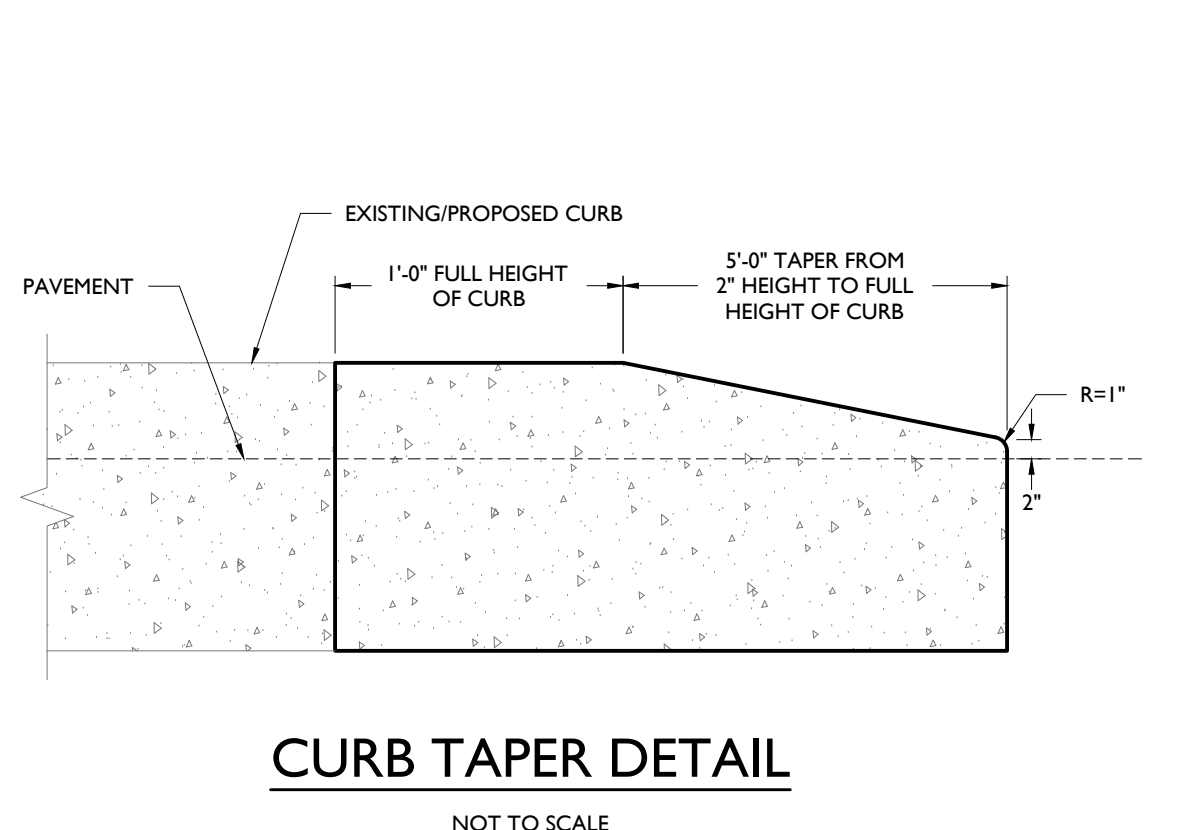
DRAWING:

C-13

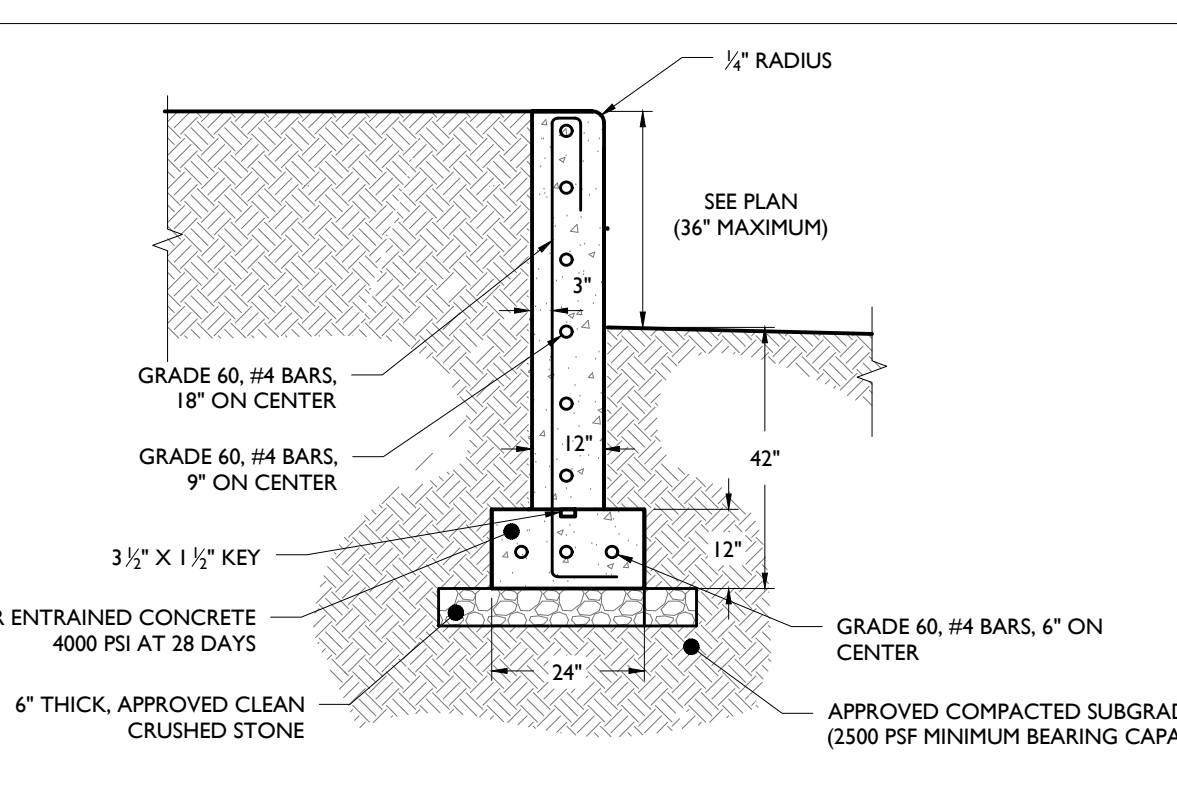


NOTE:
ALL LUMBER SHALL BE PRESSURE TREATED.

WOODEN FENCE TRASH ENCLOSURE DETAIL
NOT TO SCALE

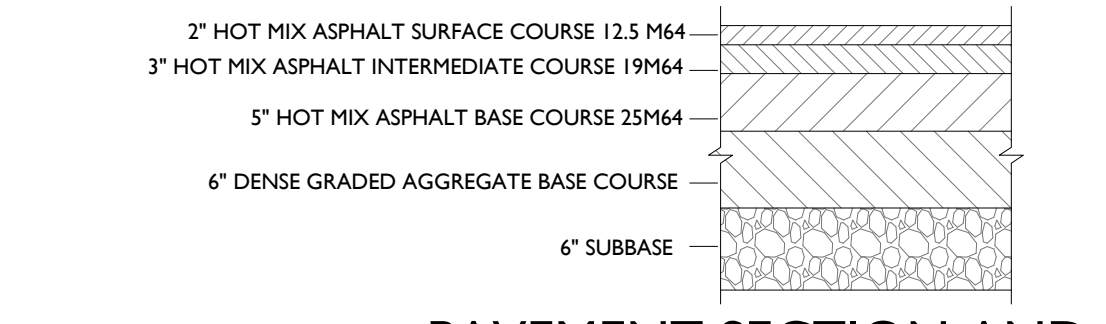


CURB TAPER DETAIL
NOT TO SCALE



CONCRETE WALL DETAIL
NOT TO SCALE

NOTES:
1. CONTRACTOR SHALL ENSURE 3" MINIMUM EMBEDMENT FOR REBAR EXPOSED TO EARTH AND 2" MINIMUM EMBEDMENT FOR REBAR EXPOSED TO WEATHER (SURFACE). NOSING REBAR TO BE EMBEDDED 1 1/2".
2. BACKFILL TO BE SUITABLE MATERIAL COMPACTED TO 95% OF MAXIMUM DENSITY IN 6" TO 8" LIFTS

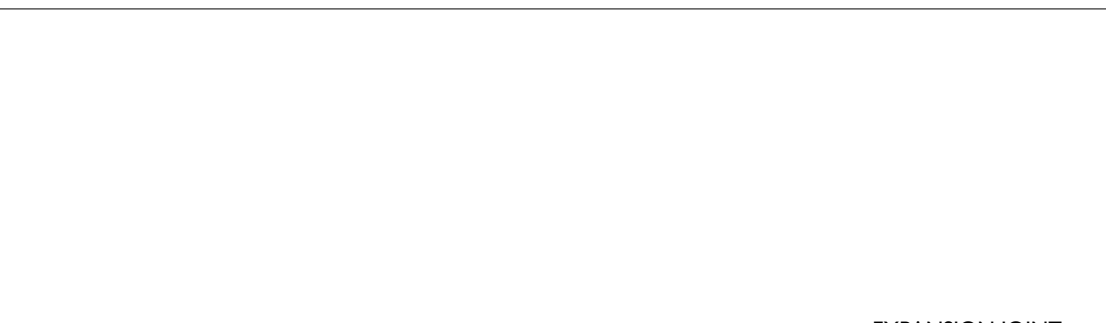


PAVEMENT SECTION AND REPAIR STRIP DETAIL
(FOR USE WITHIN NJDOT ROW)
NOT TO SCALE

902.02.01 MIX DESIGNATIONS:
THE REQUIREMENTS FOR SPECIFIC HMA MIXTURES ARE INTENDED BY THE ABBREVIATED FIELDS IN THE ITEM DESCRIPTION AS DEFINED AS FOLLOWS:
HOT MIX ASPHALT 12.5M4 SURFACE COURSE
"HOT MIX ASPHALT" - "HOT MIX ASPHALT" IS LOCATED IN THE FIRST FIELD IN THE ITEM DESCRIPTION FOR THE PURPOSE OF IDENTIFYING THE MIXTURE REQUIREMENTS.
"12.5" - THE SECOND FIELD IN THE ITEM DESCRIPTION DESIGNATES THE NOMINAL MAXIMUM SIZE AGGREGATE (IN MILLIMETERS) FOR THE JOB MIX FORMULA (SIZES ARE 4.75, 9.5, 12.5, 19, 25 AND 37.5MM).
"M" - THE THIRD FIELD IN THE ITEM DESCRIPTION DESIGNATES THE DESIGN COMPACTION LEVEL FOR THE JOB MIX FORMULA BASED ON TRAFFIC FORECASTS AS LISTED IN TABLE 902.02.03-2 (LEVELS ARE L=LOW M=MEDIUM H=HIGH).
"64" - THE FOURTH FIELD IN THE ITEM DESCRIPTION DESIGNATES THE HIGH TEMPERATURE (IN C) OF THE PERFORMANCE-GRADED BINDER (OPTIONS ARE 64, 70, AND 76 C). ALL BINDERS SHALL HAVE A LOW TEMPERATURE OF -22°C, UNLESS OTHERWISE SPECIFIED.
"SURFACE" COURSE THE LAST FIELD IN THE ITEM DESCRIPTION DESIGNATES THE INTENDED USE AND LOCATION WITHIN THE PAVEMENT STRUCTURE (OPTIONS ARE SURFACE, INTERMEDIATE, OR BASE COURSE)

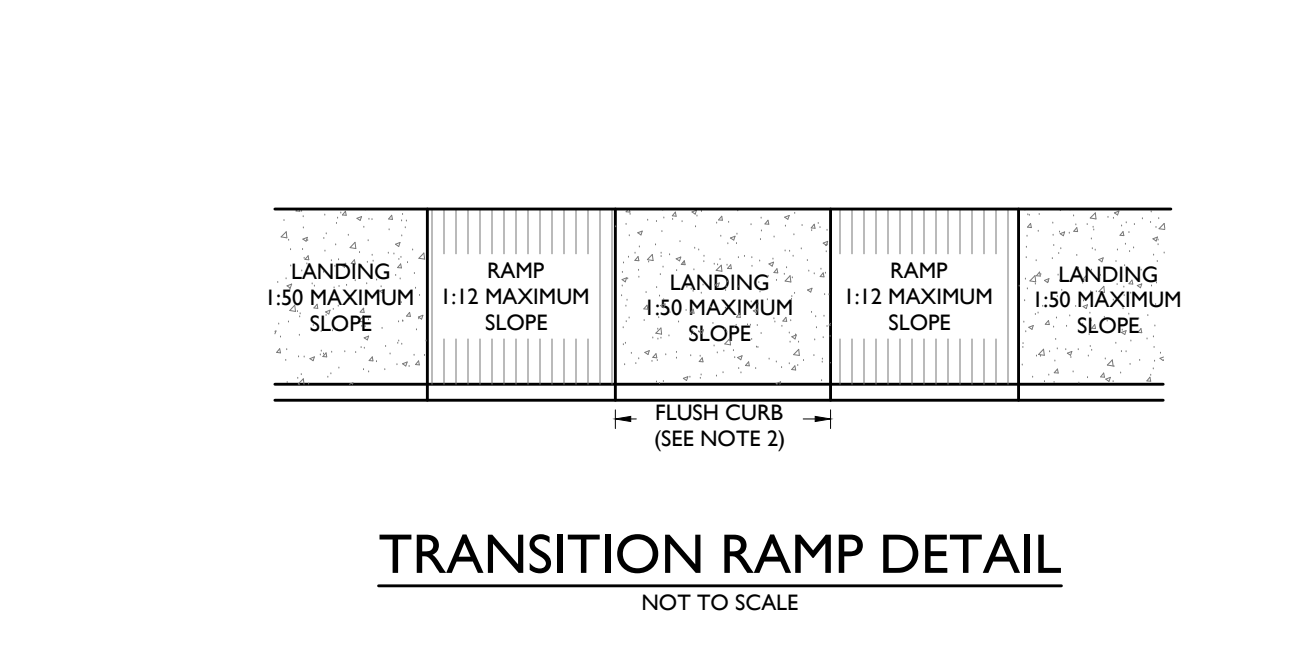
NOTES:
1. PAVEMENT SECTION TO BE A MINIMUM OF 2.0 FEET IN WIDTH.
2. SAWCUT PAVEMENT PRIOR TO EXCAVATION.
3. UNDERCUT SOFT SUBGRADE AREAS AND REPLACE WITH ADDITIONAL SUB-BASE OR BORROW EXCAVATION-SELECTED MATERIAL.
4. APPLY TACK COAT TO THE EDGE OF EXISTING PAVEMENT PRIOR TO PAVING.
5. MILLING AND RESURFACING SHALL BE 2" HMA 12.7M4 SURFACE COURSE
6. THE LONGITUDINAL JOINT BETWEEN THE NEW AND EXISTING PAVEMENT SHALL BE SAWED AND SEALED.
7. EXISTING CONCRETE PAVEMENT SHOULD BE REPLACED IN KIND IF FEASIBLE.

PAVEMENT SECTION AND REPAIR STRIP DETAIL
NOT TO SCALE



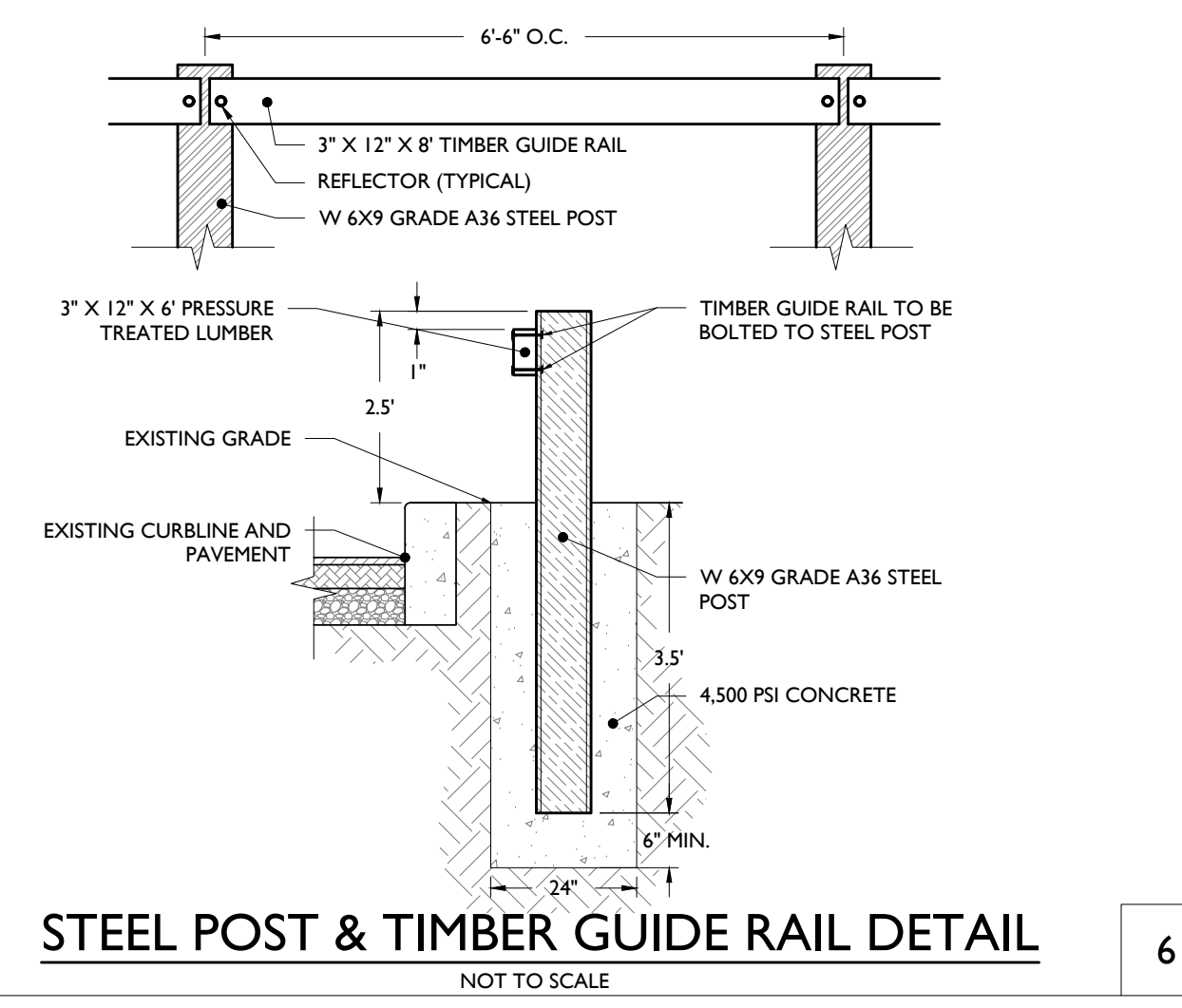
CONCRETE STEPS & ELEVATED LANDING DETAIL
NOT TO SCALE

NOTES:
1. CONTRACTOR SHALL ENSURE 3" MINIMUM EMBEDMENT FOR REBAR EXPOSED TO EARTH AND 2" MINIMUM EMBEDMENT FOR REBAR EXPOSED TO WEATHER (SURFACE). NOSING REBAR TO BE EMBEDDED 1 1/2".
2. CONTRACTOR SHALL MAINTAIN A MAXIMUM 1:50 SLOPE IN ALL DIRECTIONS WITHIN PROPOSED CONCRETE LANDINGS.
3. STEPS IN SERIES SHALL HAVE UNIFORM RISER HEIGHT.

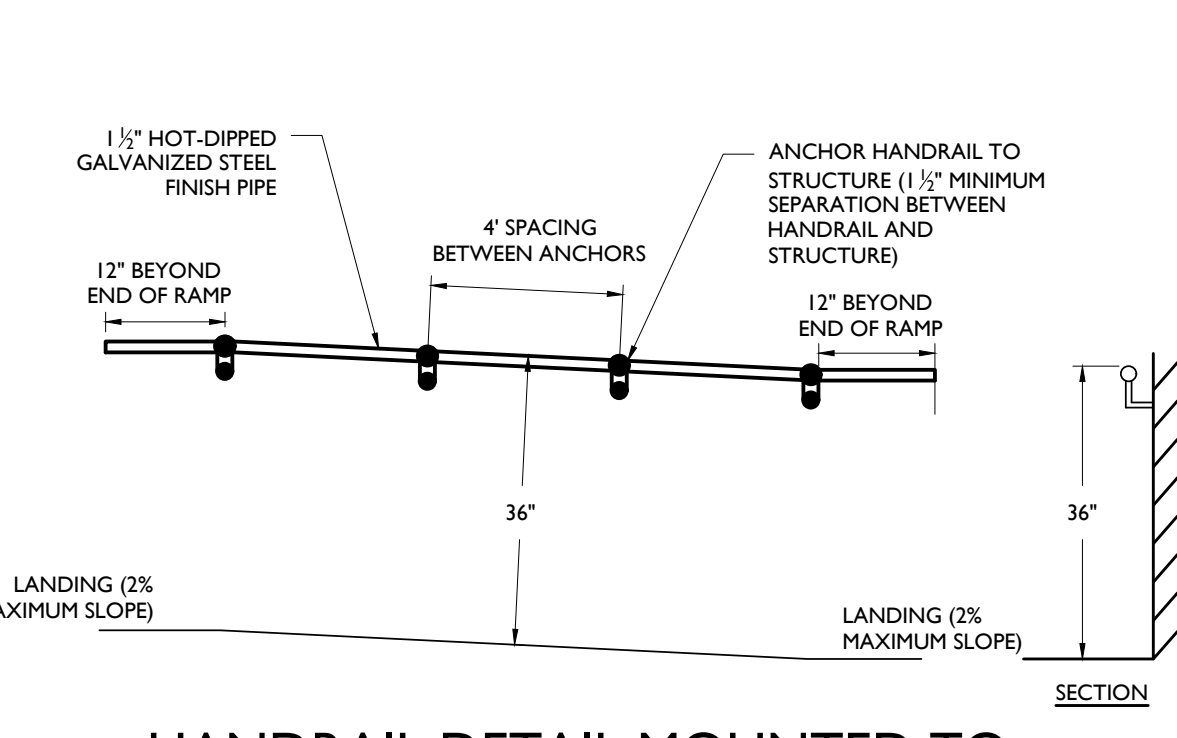


TRANSITION RAMP DETAIL
NOT TO SCALE

NOTES:
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%
2. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
3. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL

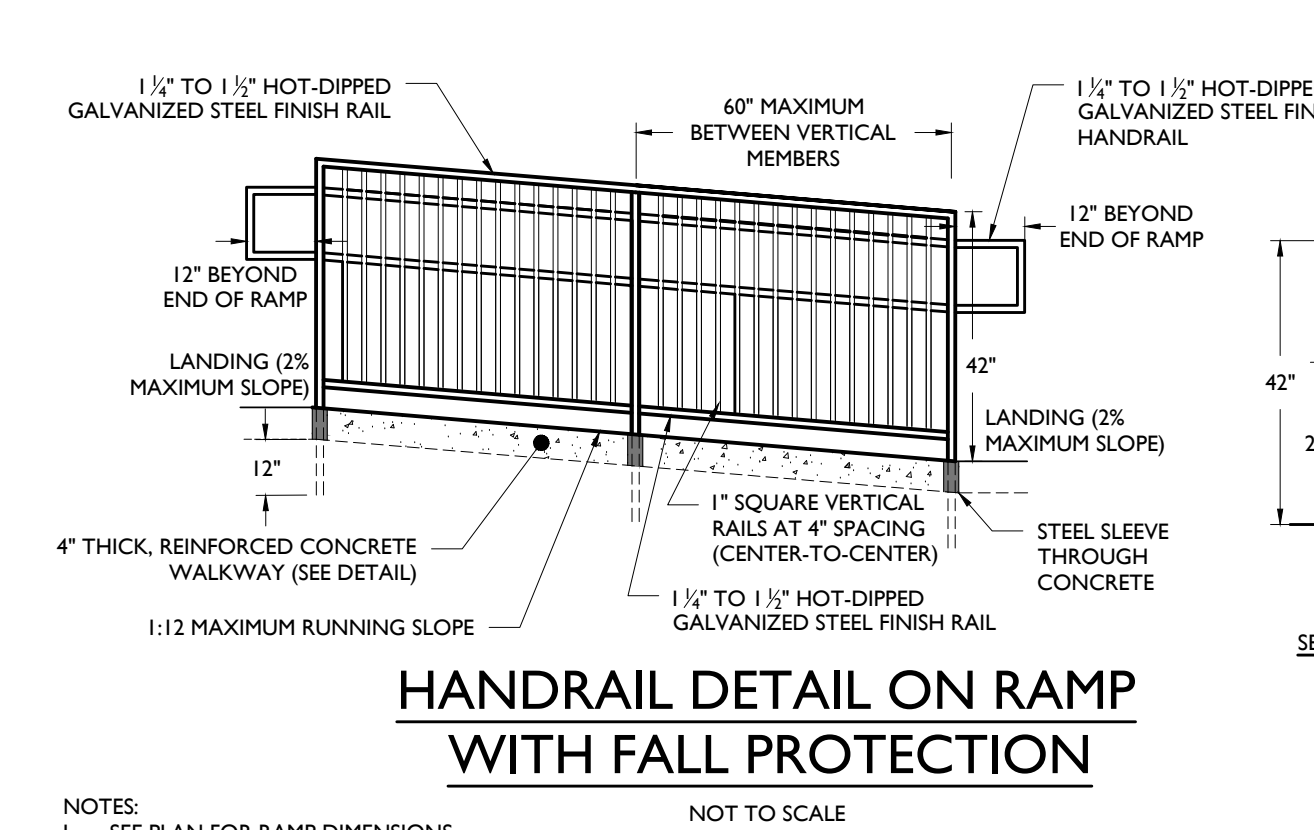


STEEL POST & TIMBER GUIDE RAIL DETAIL
NOT TO SCALE



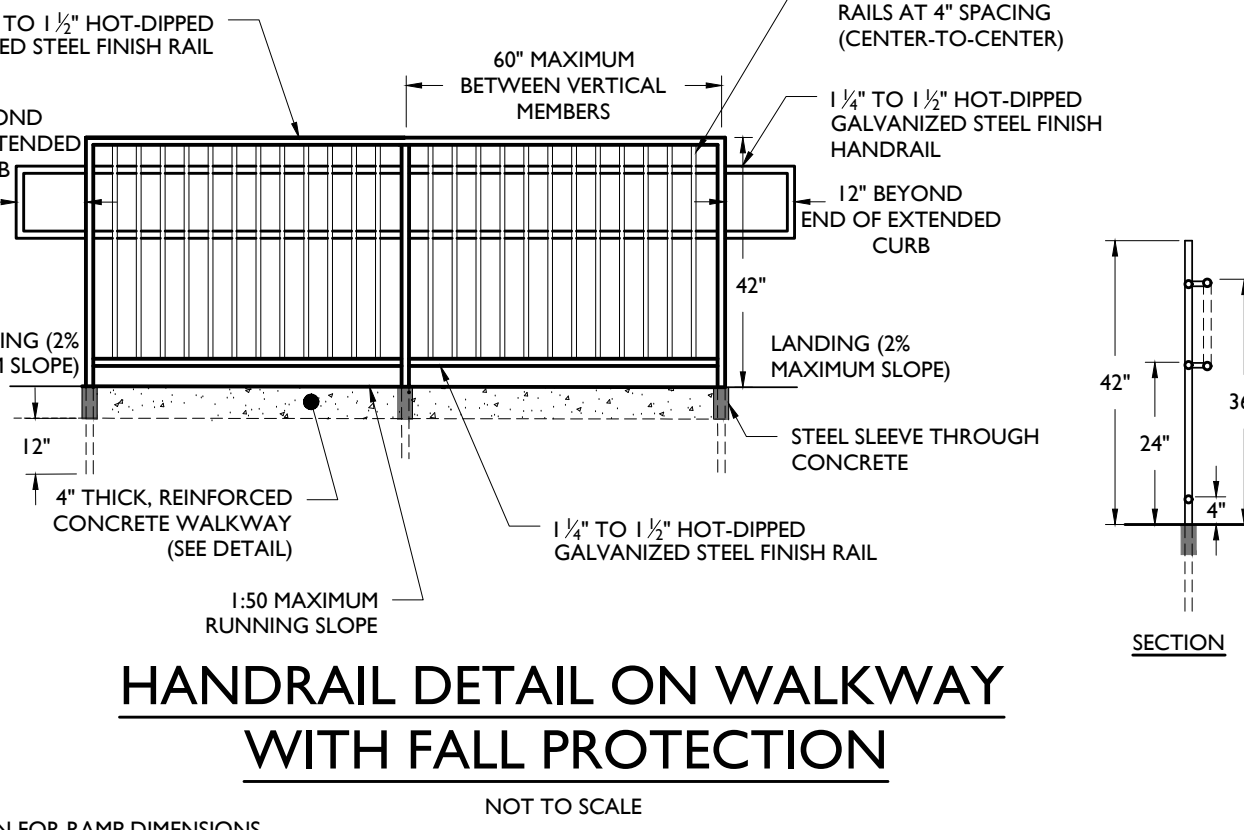
HANDRAIL DETAIL MOUNTED TO STRUCTURE ADJACENT TO RAMP
NOT TO SCALE

NOTES:
1. CONTRACTOR SHALL ENSURE 3" MINIMUM EMBEDMENT FOR REBAR EXPOSED TO EARTH AND 2" MINIMUM EMBEDMENT FOR REBAR EXPOSED TO WEATHER (SURFACE). NOSING REBAR TO BE EMBEDDED 1 1/2".
2. CONTRACTOR SHALL MAINTAIN A MAXIMUM 1:50 SLOPE IN ALL DIRECTIONS WITHIN PROPOSED CONCRETE LANDINGS.
3. STEPS IN SERIES SHALL HAVE UNIFORM RISER HEIGHT.



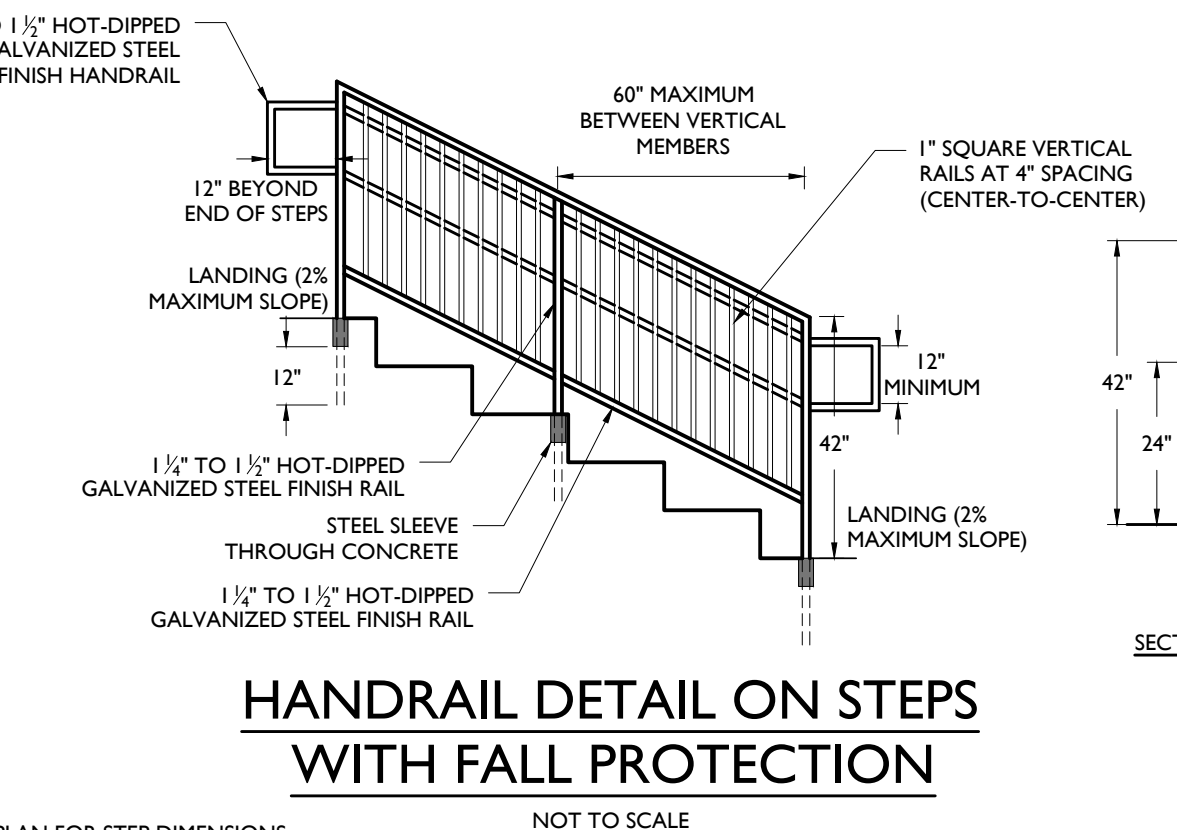
HANDRAIL DETAIL ON RAMP WITH FALL PROTECTION
NOT TO SCALE

NOTES:
1. SEE PLAN FOR RAMP DIMENSIONS
2. GRIND ALL WELDS SMOOTH
3. HANDRAIL TO BE INSET 6" FROM EDGE OF CONCRETE
4. 30" MAXIMUM RISE IN ELEVATION BETWEEN LANDINGS
5. RAMP SHALL HAVE RAILINGS ON BOTH SIDES WITH 36" MINIMUM CLEARANCE BETWEEN RAILS.



HANDRAIL DETAIL ON WALKWAY WITH FALL PROTECTION
NOT TO SCALE

NOTES:
1. SEE PLAN FOR RAMP DIMENSIONS
2. GRIND ALL WELDS SMOOTH
3. HANDRAIL TO BE INSET 6" FROM EDGE OF CONCRETE
4. 30" MAXIMUM RISE IN ELEVATION BETWEEN LANDINGS
5. RAMP SHALL HAVE RAILINGS ON BOTH SIDES WITH 36" MINIMUM CLEARANCE BETWEEN RAILS.



HANDRAIL DETAIL ON STEPS WITH FALL PROTECTION
NOT TO SCALE

NOTES:
1. SEE PLAN FOR STEP DIMENSIONS
2. GRIND ALL WELDS SMOOTH
3. HANDRAIL TO BE INSET 6" FROM EDGE OF CONCRETE
4. STEPS SHALL HAVE RAILINGS ON BOTH SIDES WITH 48" MINIMUM CLEARANCE BETWEEN RAILS.
5. VERTICAL RAIL REQUIRED AT TOP AND BOTTOM OF STEPS.

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VILLANI REALTY GROUP

PROPOSED RESIDENTIAL DEVELOPMENT

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430 GROVE STREET
BOROUGH OF NORTH PLAINFIELD
SOMERSET COUNTY, NEW JERSEY

JOSHUA H. KLINE, P.E.
NEW JERSEY LICENSE NO. 54347
LICENSED PROFESSIONAL ENGINEER

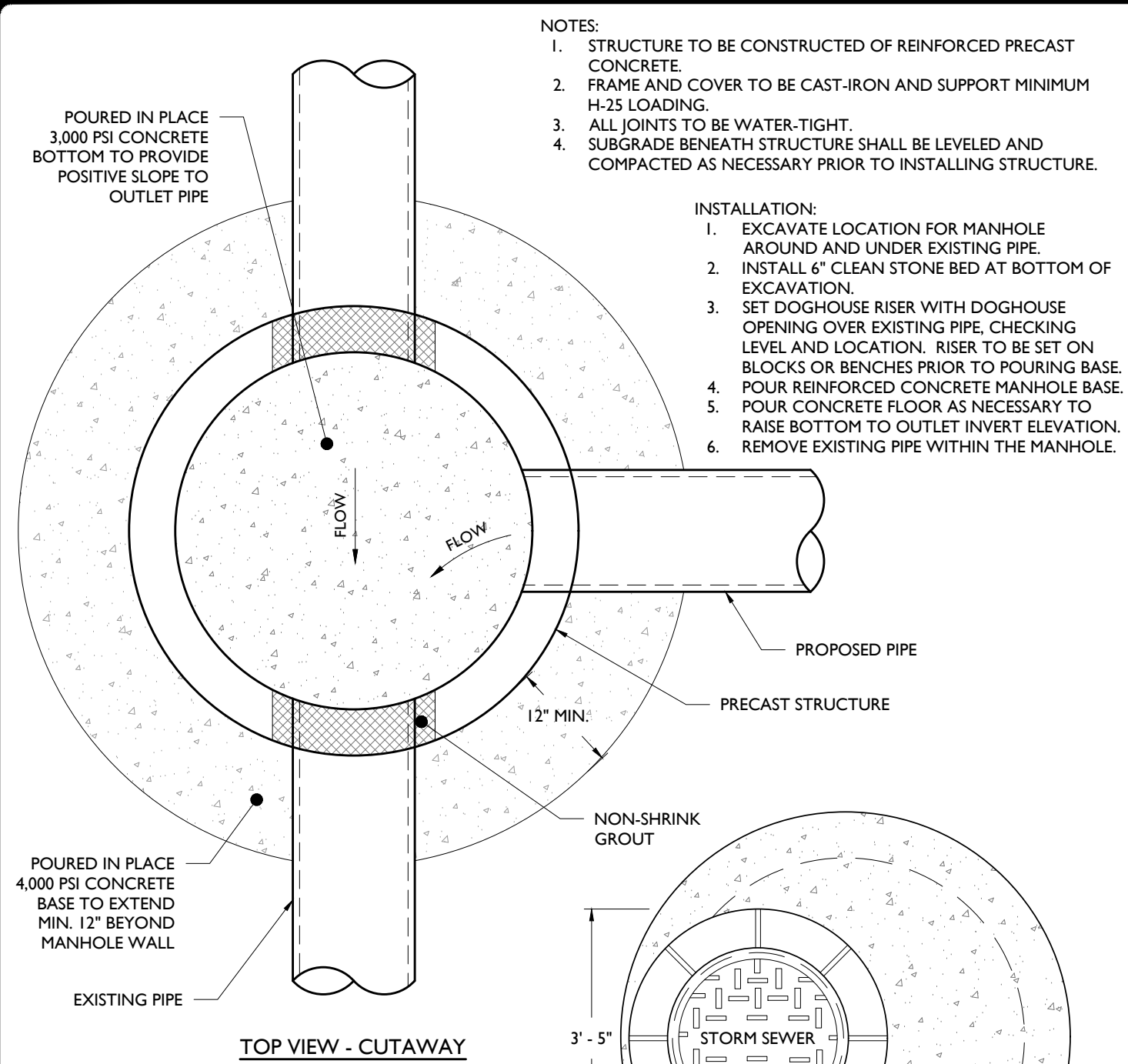
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SCALE: 1" = 30' PROJECT ID: PRI-23101

TITLE:
CONSTRUCTION DETAILS

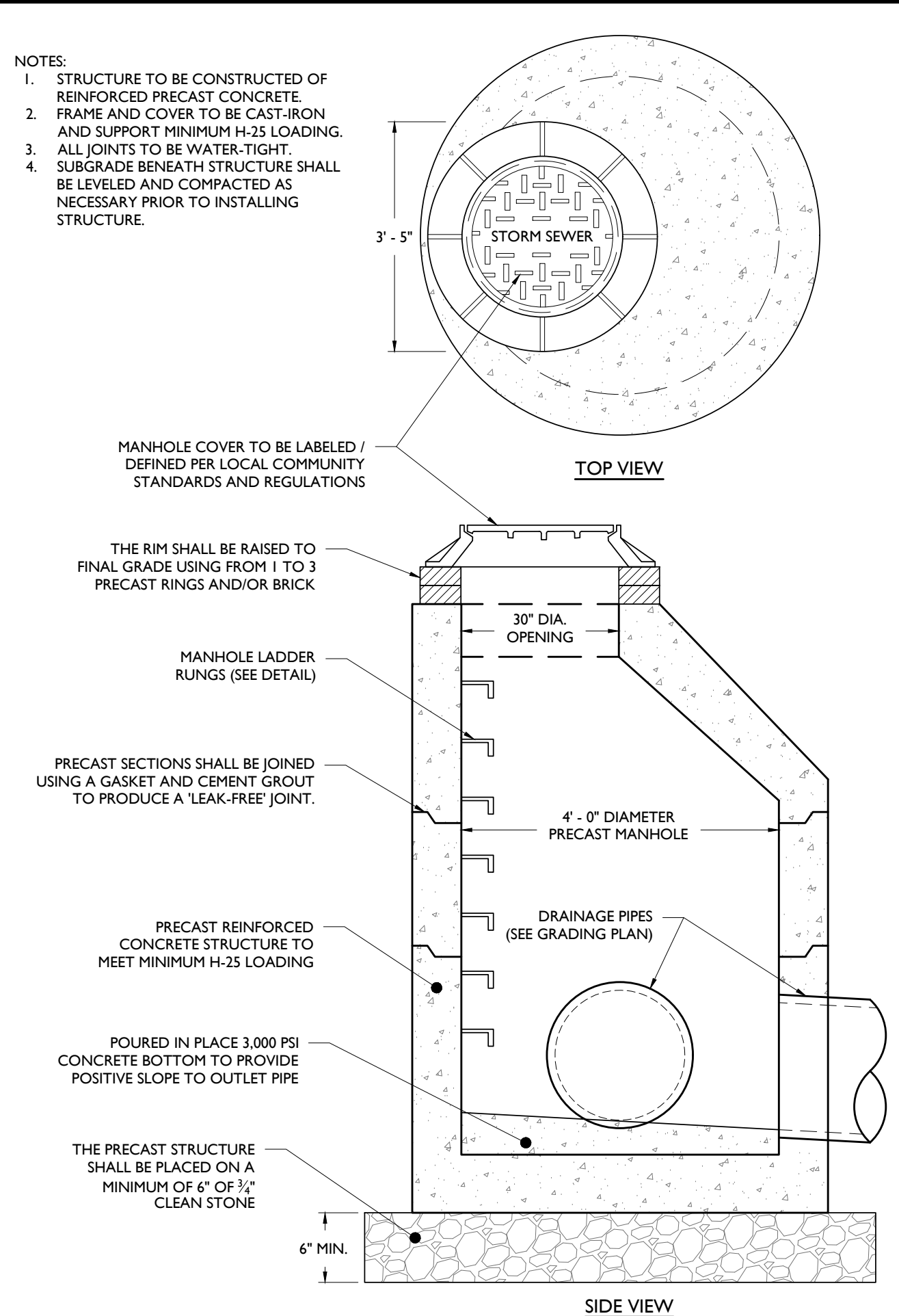
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C-14

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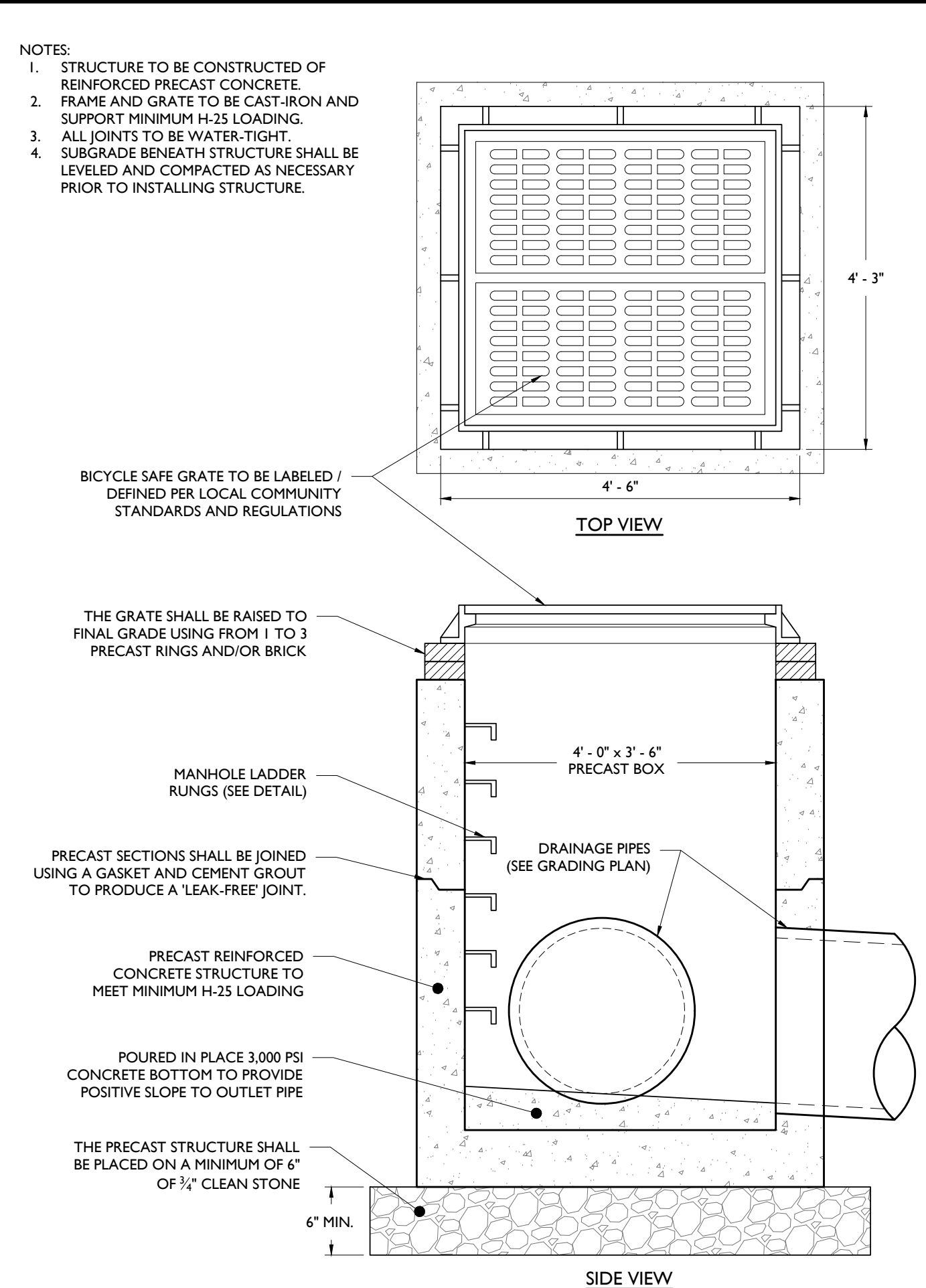
DOGHOUSE STORM MANHOLE DETAIL
NOT TO SCALE

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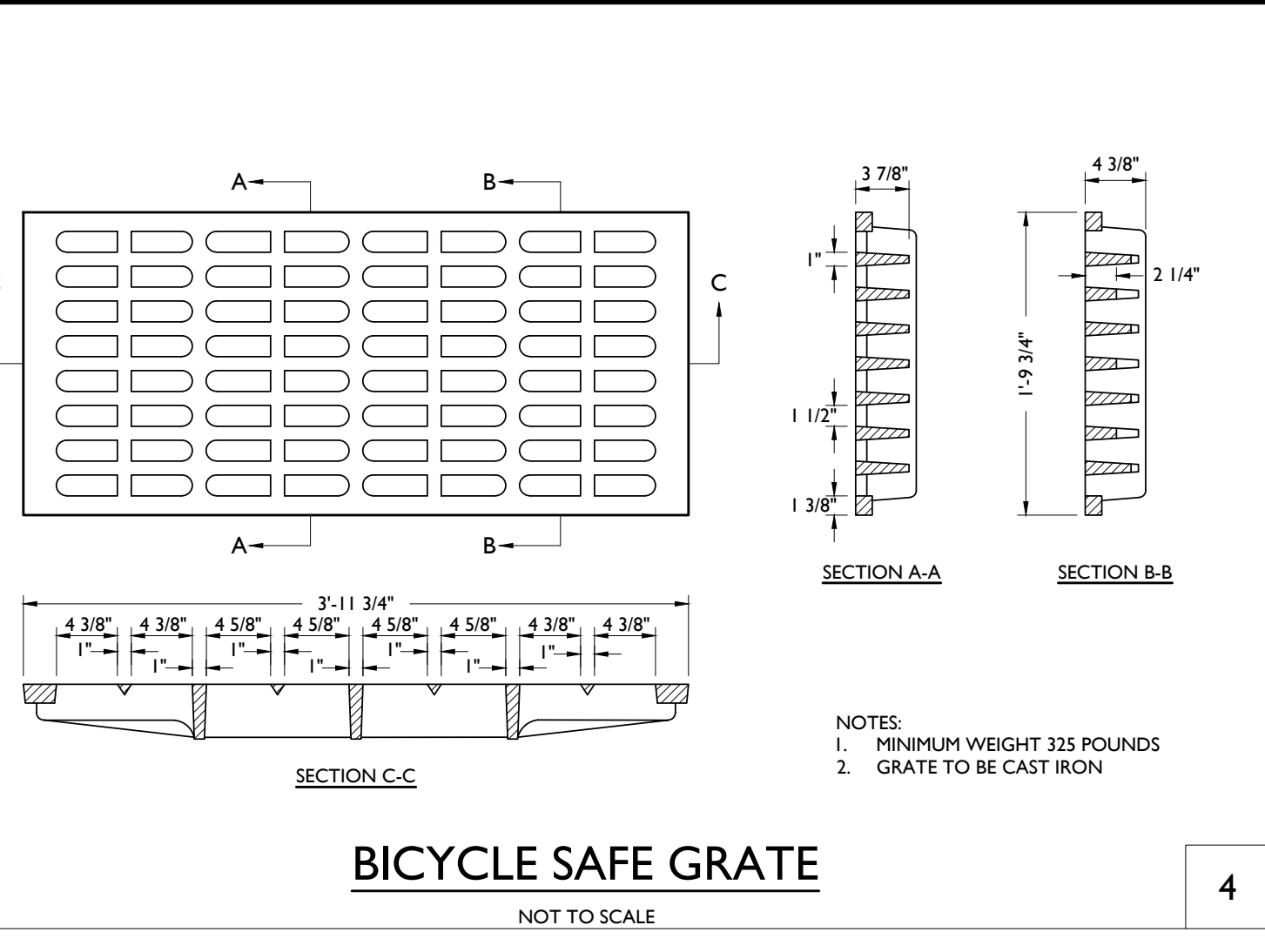
STORM MANHOLE DETAIL
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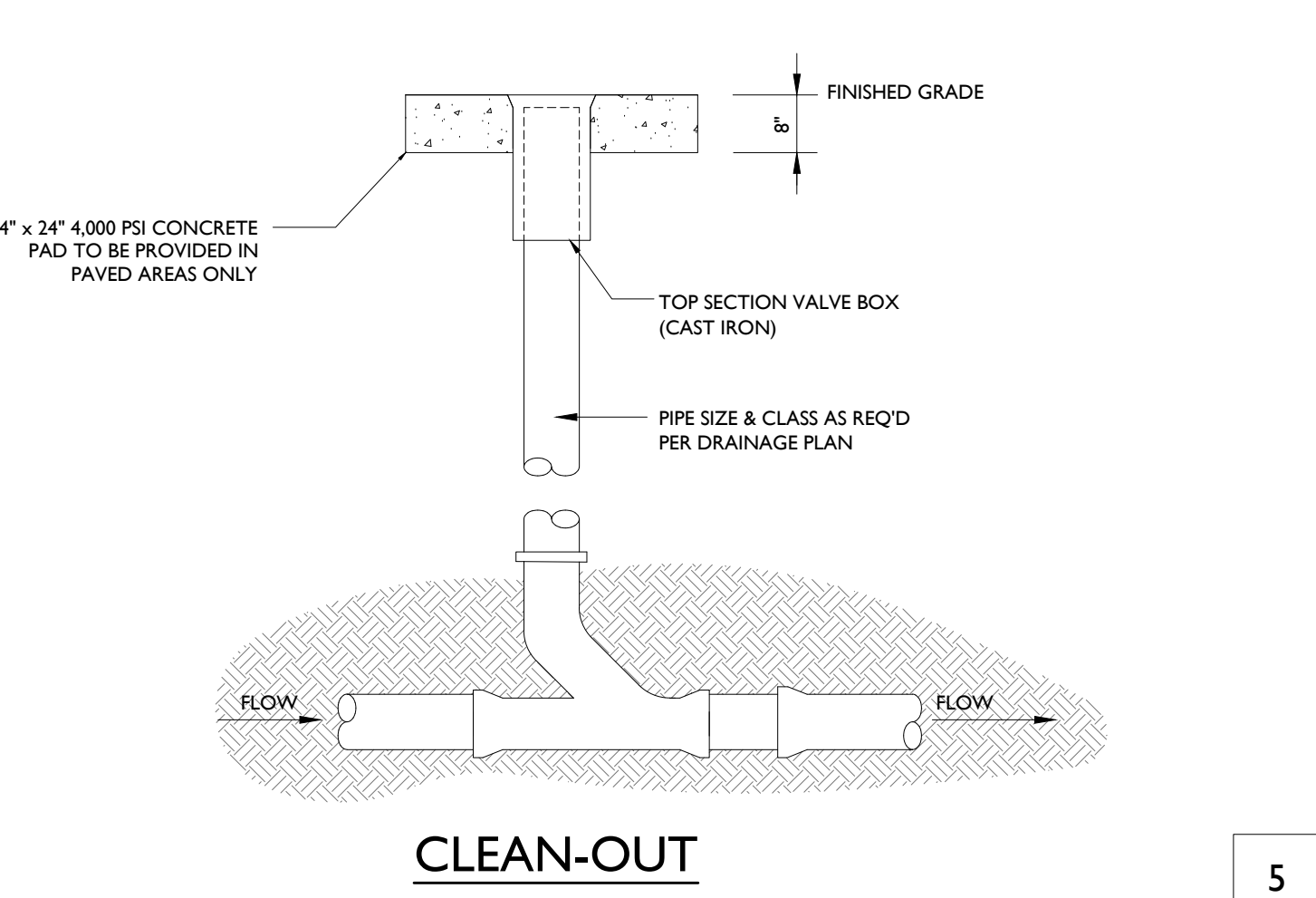
TYPE 'E' STORM INLET DETAIL
NOT TO SCALE

3



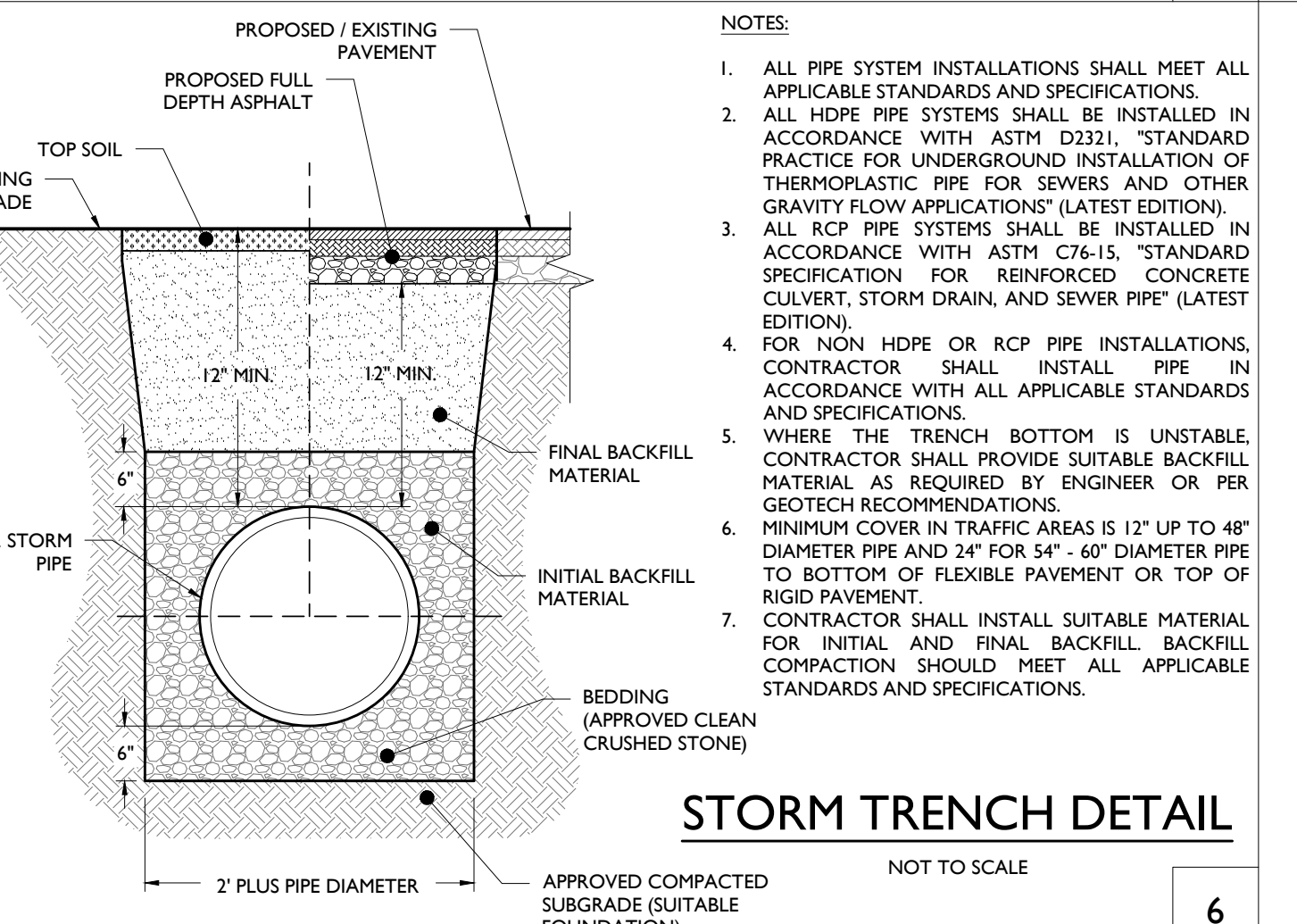
BICYCLE SAFE GRATE
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4



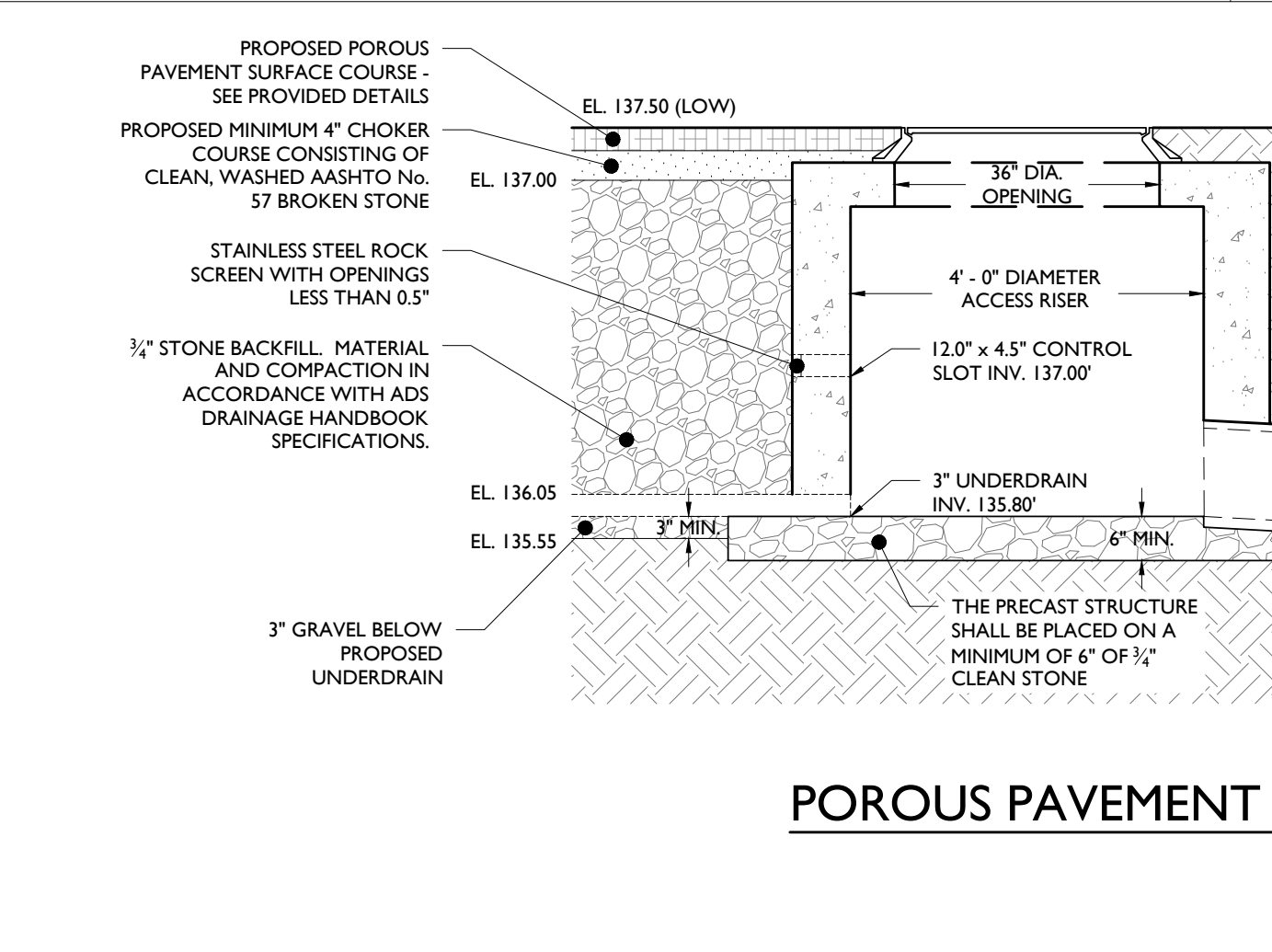
CLEAN-OUT
NOT TO SCALE

5



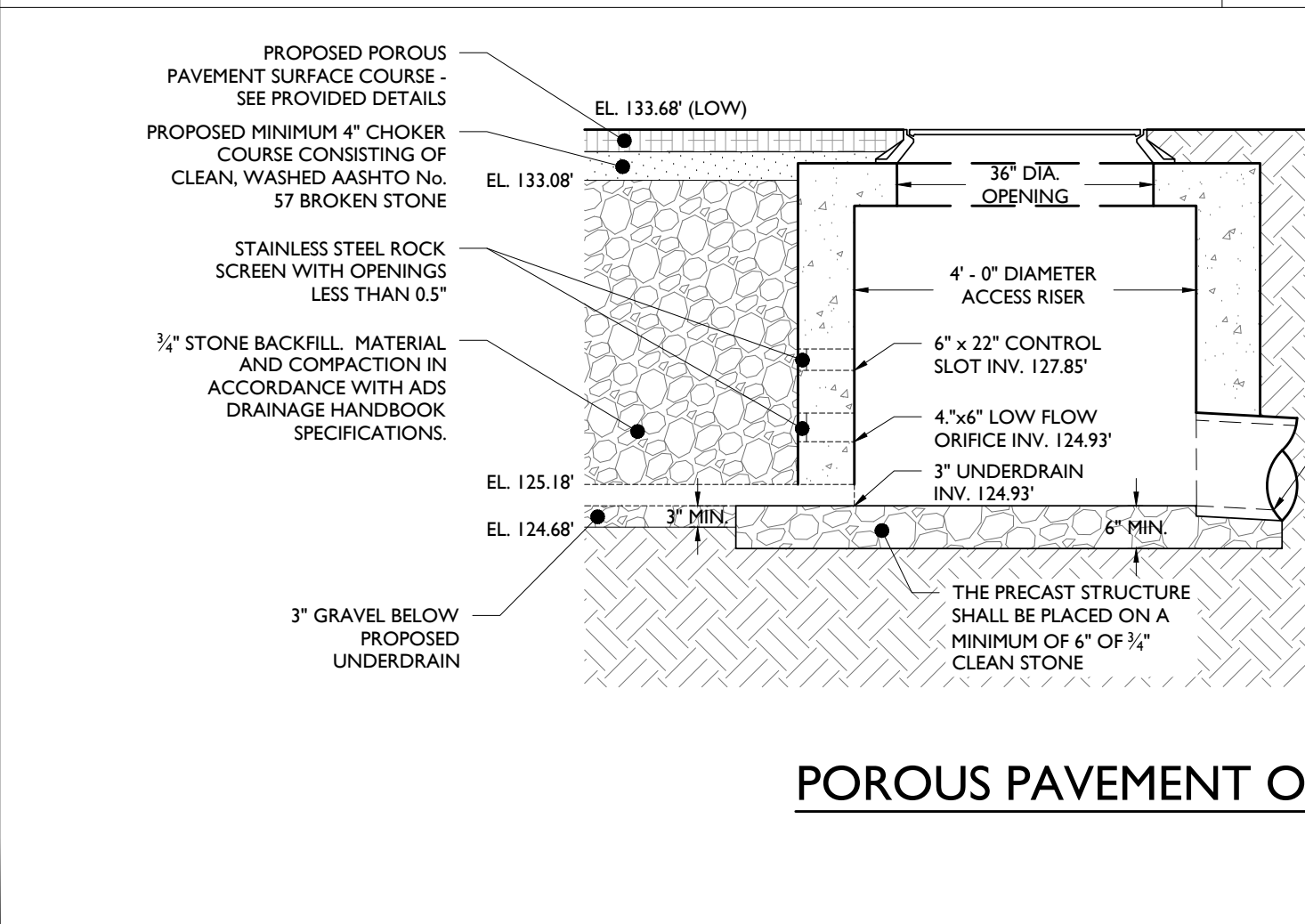
STORM TRENCH DETAIL
NOT TO SCALE

6



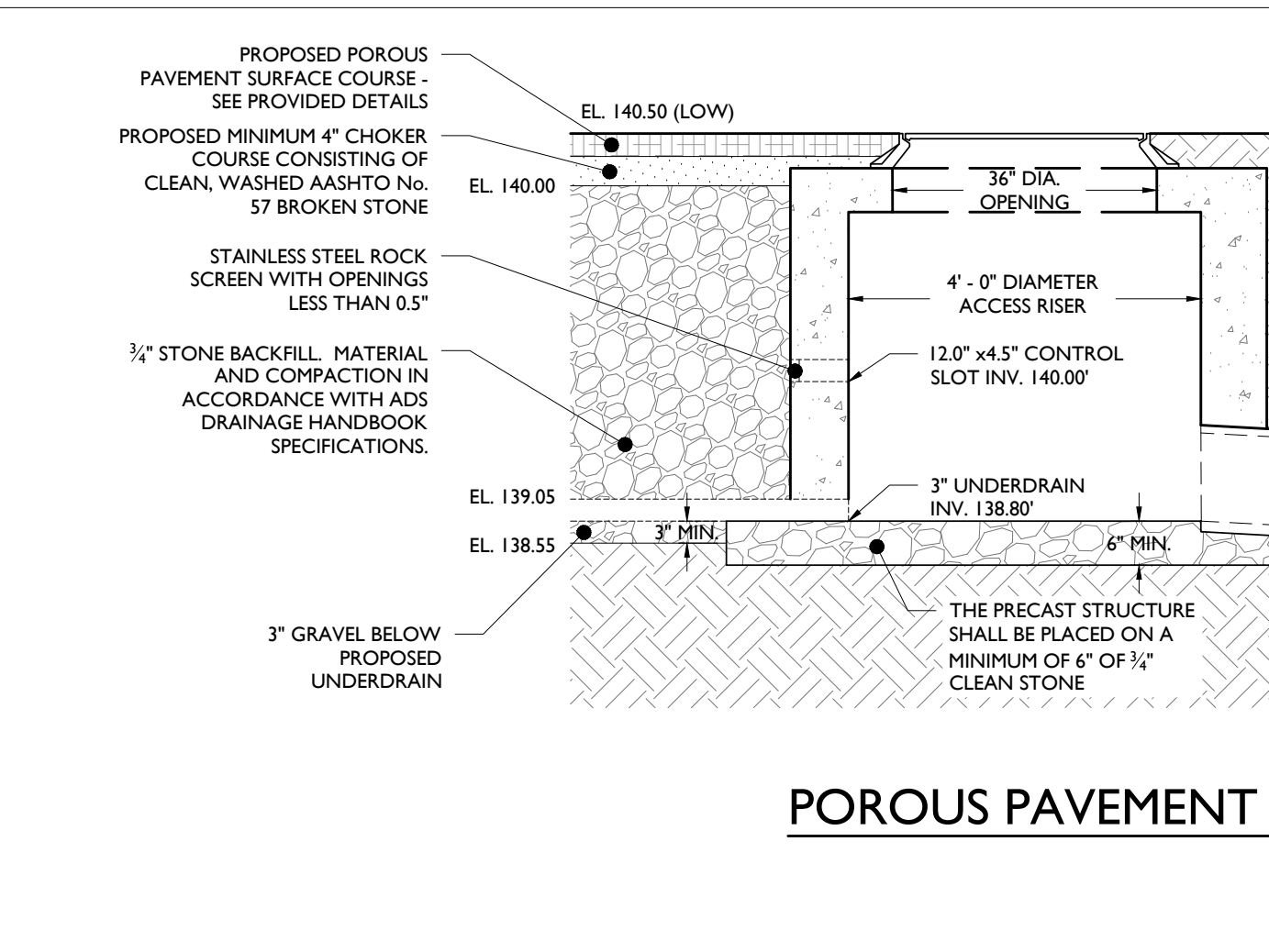
POROUS PAVEMENT OUTLET STRUCTURE (OS-2) DETAIL
SCALE: 1" = 2"

7



POROUS PAVEMENT OUTLET STRUCTURE (OS-1) DETAIL
SCALE: 1" = 2"

8



POROUS PAVEMENT OUTLET STRUCTURE (OS-3) DETAIL
SCALE: 1" = 2"

9

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SCALE: 1" = 30' PROJECT ID: PRI-23101

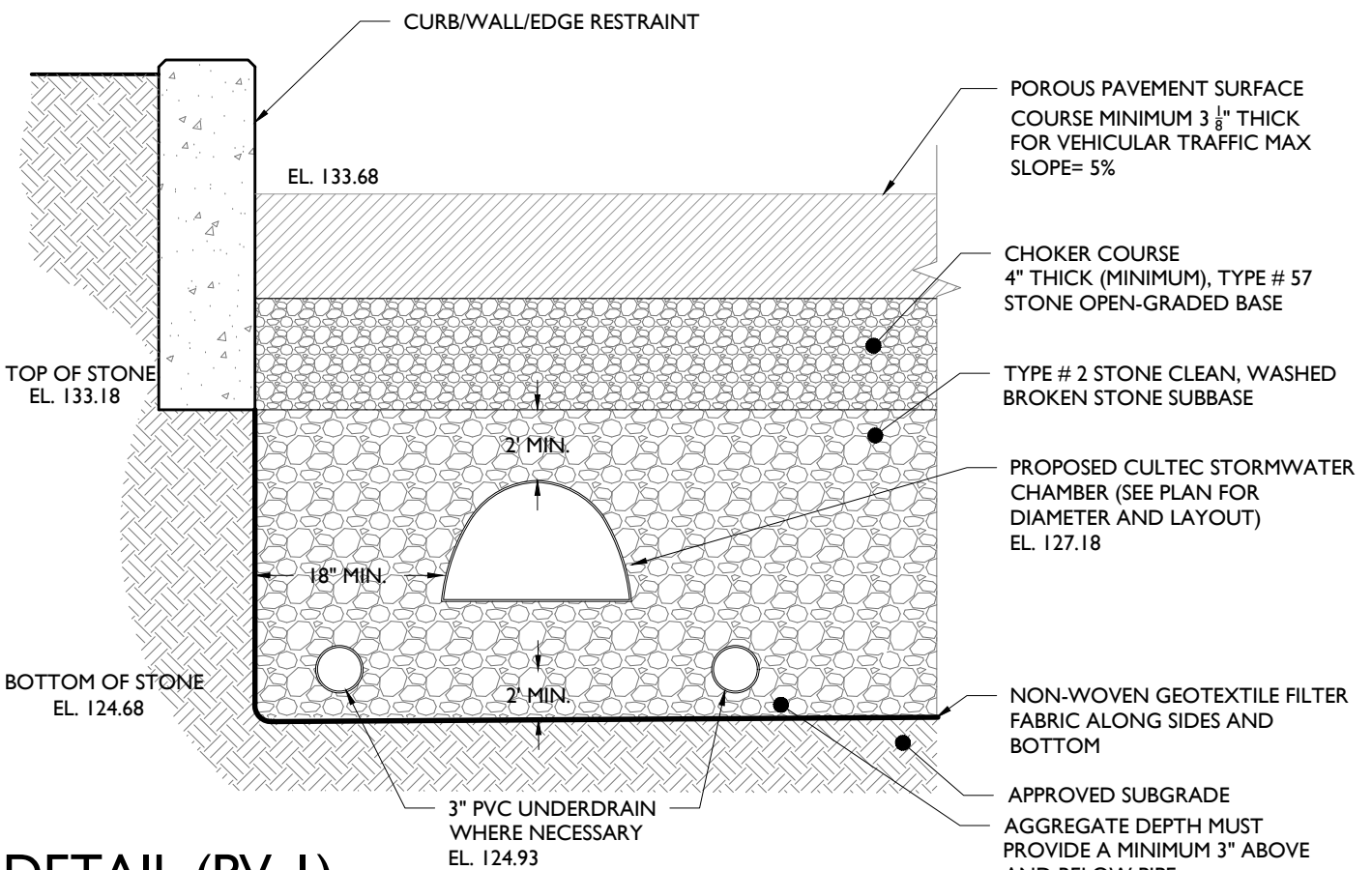
TITLE:
CONSTRUCTION DETAILS

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C-15

2:PROJECT/NO:2023/PRJ:2013 TAYLOR ARCHITECTURE 400 GROVE STREET NORTH PLAINFIELD, NEW JERSEY 07063

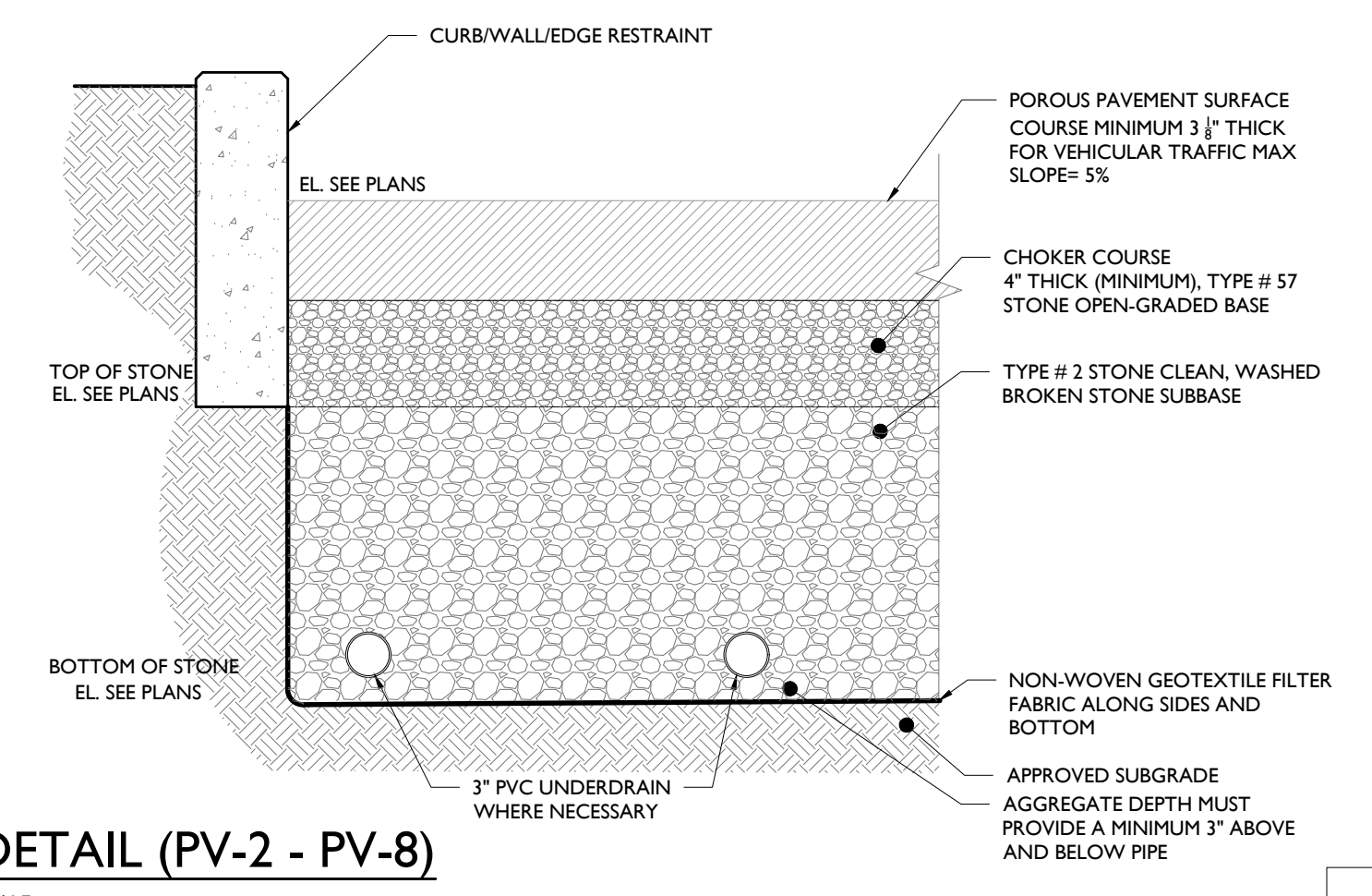
- NOTES:
- PERMEABLE PAVEMENT MUST BE IN ACCORDANCE WITH NJ STORMWATER BEST MANAGEMENT PRACTICES MANUAL, CHAPTER 9.6.
 - FILTER FABRIC IS REQUIRED ALONG THE SIDES AND BOTTOM OF THE SYSTEM TO PREVENT MITIGATION OF FINES FROM THE SURROUNDING SOIL.
 - THE STORAGE BED IN THIS TYPE OF SYSTEM CONSISTS OF AN AGGREGATE LAYER AND AN UNDERDRAIN, WHICH IS A NETWORK OF PIPES THAT COLLECT RUNOFF AND TRANSPORT IT TO THE OUTFLOW SECTION OF THE SYSTEM.
 - THE AGGREGATE LAYER MUST HAVE SUFFICIENT DEPTH TO PROVIDE AT LEAST 3 INCHES OF AGGREGATE ABOVE AND BELOW THE PIPE NETWORK. IT MUST CONSIST OF CLEAN, WASHED, OPEN-GRADED AASHTO NO. 2 BROKEN STONE.
 - WITHIN THE AGGREGATE LAYER, THE NETWORK OF PIPES MUST BE ABLE TO WITHSTAND THE DESIGN LOADS.
 - THE MANIFOLD OR OTHER MECHANISMS USED TO COLLECT FLOW FROM THE PERMEABLE PAVEMENT SYSTEM MUST BE NON-PERFORATED.
 - ALL JOINTS MUST BE SECURE AND WATERTIGHT.
 - THE CAPACITY OF THE UNDERDRAIN MUST BE SUFFICIENT TO ALLOW THE SYSTEM TO DRAIN WITHIN 72 HOURS.
 - THE SEASONAL HIGH WATER TABLE (SHWT) OR BEDROCK MUST BE AT LEAST 1 FOOT BELOW THE BOTTOM OF THE STORAGE BED. (DESIGNER NOTE: IF UNDERDRAINED, 2 FT IF INFILTRATION)
 - AT LEAST ONE INSPECTION PORT, WITH A REMOVABLE CAP, MUST BE PROVIDED AT THE UPSTREAM AND DOWNSTREAM ENDS OF THE PERFORATED SECTION OF THE NETWORK OF PIPES AND BE FLUSH WITH THE SURFACE OF THE SURFACE LAYER AND EACH LOCATION DENOTED IN THE MAINTENANCE PLAN. EACH INSPECTION PORT MUST BE PLACED AT LEAST 3 FEET FROM ANY EDGE. THE SIZE OF THE INSPECTION PORT MUST BE LARGE ENOUGH TO ALLOW FOR MAINTENANCE ACTIVITIES. ADDITIONALLY, EACH INSPECTION PORT MUST EXTEND DOWN TO THE UNDERDRAIN PIPE NETWORK.
 - CONCRETE PAVERS MUST CONFORM TO ASTM C936 AND HAVE A MINIMUM THICKNESS OF 3.125 INCHES WHEN SUBJECT TO VEHICULAR TRAFFIC.
 - PAVER UNITS MUST BE INSTALLED OVER A BEDDING COURSE CONSISTING OF CLEAN, WASHED OPEN-GRADED AASHTO NO. 8 BROKEN STONE.
 - THE MINIMUM CHOKER COURSE THICKNESS IS 4 INCHES.
 - STORAGE BED AGGREGATE MUST BE CLEAN, WASHED AND OPEN-GRADED AASHTO NO. 3 BROKEN STONE.
 - POST-CONSTRUCTION TESTING OF THE PERMEABLE PAVEMENT SURFACE COURSE IS REQUIRED AND MUST CONFORM TO THE METHODS OF ASTM C1781: STANDARD TEST METHOD FOR SURFACE INFILTRATION RATE OF PERMEABLE PAVEMENT SYSTEMS.
 - PERMEABLE PAVEMENT MAY ACCEPT ADDITIONAL INFLOW FROM A MAXIMUM AREA OF 3 TIMES THE AREA OF THE PERMEABLE PAVEMENT SYSTEM.

POROUS PAVEMENT DETAIL (PV-1)
NOT TO SCALE



- NOTES:
- PERMEABLE PAVEMENT MUST BE IN ACCORDANCE WITH NJ STORMWATER BEST MANAGEMENT PRACTICES MANUAL, CHAPTER 9.6
 - FILTER FABRIC IS REQUIRED ALONG THE SIDES AND BOTTOM OF THE SYSTEM TO PREVENT MITIGATION OF FINES FROM THE SURROUNDING SOIL.
 - THE STORAGE BED IN THIS TYPE OF SYSTEM CONSISTS OF AN AGGREGATE LAYER AND AN UNDERDRAIN, WHICH IS A NETWORK OF PIPES THAT COLLECT RUNOFF AND TRANSPORT IT TO THE OUTFLOW SECTION OF THE SYSTEM.
 - THE AGGREGATE LAYER MUST HAVE SUFFICIENT DEPTH TO PROVIDE AT LEAST 3 INCHES OF AGGREGATE ABOVE AND BELOW THE PIPE NETWORK. IT MUST CONSIST OF CLEAN, WASHED, OPEN-GRADED AASHTO NO. 3 BROKEN STONE.
 - WITHIN THE AGGREGATE LAYER, THE NETWORK OF PIPES MUST BE ABLE TO WITHSTAND THE DESIGN LOADS.
 - THE MANIFOLD OR OTHER MECHANISMS USED TO COLLECT FLOW FROM THE PERMEABLE PAVEMENT SYSTEM MUST BE NON-PERFORATED.
 - ALL JOINTS MUST BE SECURE AND WATERTIGHT.
 - THE CAPACITY OF THE UNDERDRAIN MUST BE SUFFICIENT TO ALLOW THE SYSTEM TO DRAIN WITHIN 72 HOURS.
 - THE SEASONAL HIGH WATER TABLE (SHWT) OR BEDROCK MUST BE AT LEAST 1 FOOT BELOW THE BOTTOM OF THE STORAGE BED. (DESIGNER NOTE: IF UNDERDRAINED, 2 FT IF INFILTRATION)
 - AT LEAST ONE INSPECTION PORT, WITH A REMOVABLE CAP, MUST BE PROVIDED AT THE UPSTREAM AND DOWNSTREAM ENDS OF THE PERFORATED SECTION OF THE NETWORK OF PIPES AND BE FLUSH WITH THE SURFACE OF THE SURFACE LAYER AND EACH LOCATION DENOTED IN THE MAINTENANCE PLAN. EACH INSPECTION PORT MUST BE PLACED AT LEAST 3 FEET FROM ANY EDGE. THE SIZE OF THE INSPECTION PORT MUST BE LARGE ENOUGH TO ALLOW FOR MAINTENANCE ACTIVITIES. ADDITIONALLY, EACH INSPECTION PORT MUST EXTEND DOWN TO THE UNDERDRAIN PIPE NETWORK.
 - CONCRETE PAVERS MUST CONFORM TO ASTM C936 AND HAVE A MINIMUM THICKNESS OF 3.125 INCHES WHEN SUBJECT TO VEHICULAR TRAFFIC.
 - PAVER UNITS MUST BE INSTALLED OVER A BEDDING COURSE CONSISTING OF CLEAN, WASHED OPEN-GRADED AASHTO NO. 8 BROKEN STONE.
 - THE MINIMUM CHOKER COURSE THICKNESS IS 4 INCHES.
 - STORAGE BED AGGREGATE MUST BE CLEAN, WASHED AND OPEN-GRADED AASHTO NO. 2 BROKEN STONE.
 - POST-CONSTRUCTION TESTING OF THE PERMEABLE PAVEMENT SURFACE COURSE IS REQUIRED AND MUST CONFORM TO THE METHODS OF ASTM C1781: STANDARD TEST METHOD FOR SURFACE INFILTRATION RATE OF PERMEABLE PAVEMENT SYSTEMS.
 - PERMEABLE PAVEMENT MAY ACCEPT ADDITIONAL INFLOW FROM A MAXIMUM AREA OF 3 TIMES THE AREA OF THE PERMEABLE PAVEMENT SYSTEM.

POROUS PAVEMENT DETAIL (PV-2 - PV-8)
NOT TO SCALE

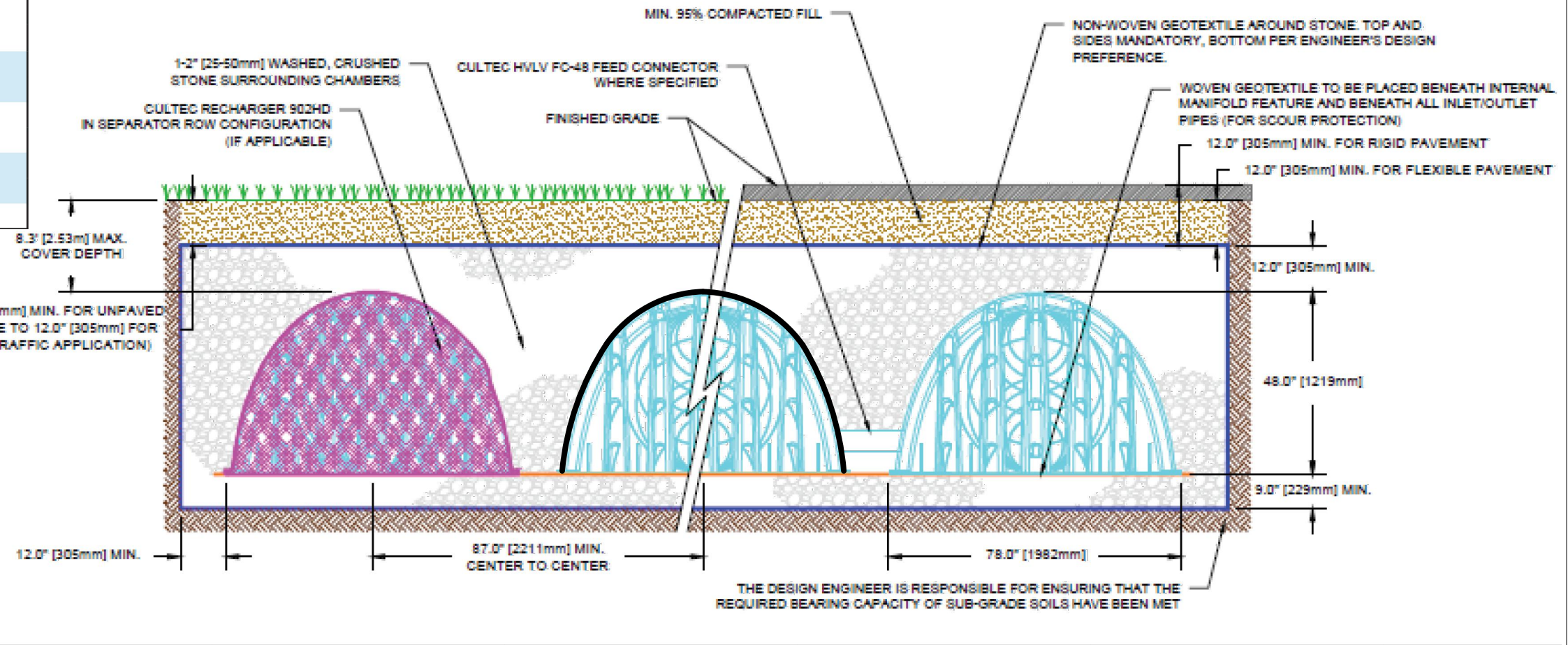


| Recharger 902HD Chamber | |
|---|---|
| Size (L x W x H) | 4.25' x 78" x 48" |
| Installed Length | 1.30 m x 1981 mm x 1219 mm |
| Length Adjustment per Row - with two end caps installed | 3.67' 1.12 m |
| Length Adjustment per Row - when not using end caps | 1.03' 0.31 m |
| Length Adjustment per Row - when not using end caps | 0.58' 0.18 m |
| Chamber Storage | 17.31 ft ³ /ft 1.61 m ³ /m |
| Min. Installed Storage | 27.06 ft ³ /ft 2.53 m ³ /m |
| Min. Area Required | 26.58 ft ² 2.47 m ² |
| Chamber Weight | 83.0 lbs 37.65 kg |
| Shipping | 15 chambers/skid 1,370 lbs/skid |
| Min. Center-to-Center Spacing | 7.25' 2.21 m |
| Max. Allowable Cover | 8.3' 2.53 m |
| Max. Allowable O.D. in Side Portal | 10" HDPE, 12" PVC |
| Compatible Feed Connector | 250 mm HDPE, 300 mm PVC |

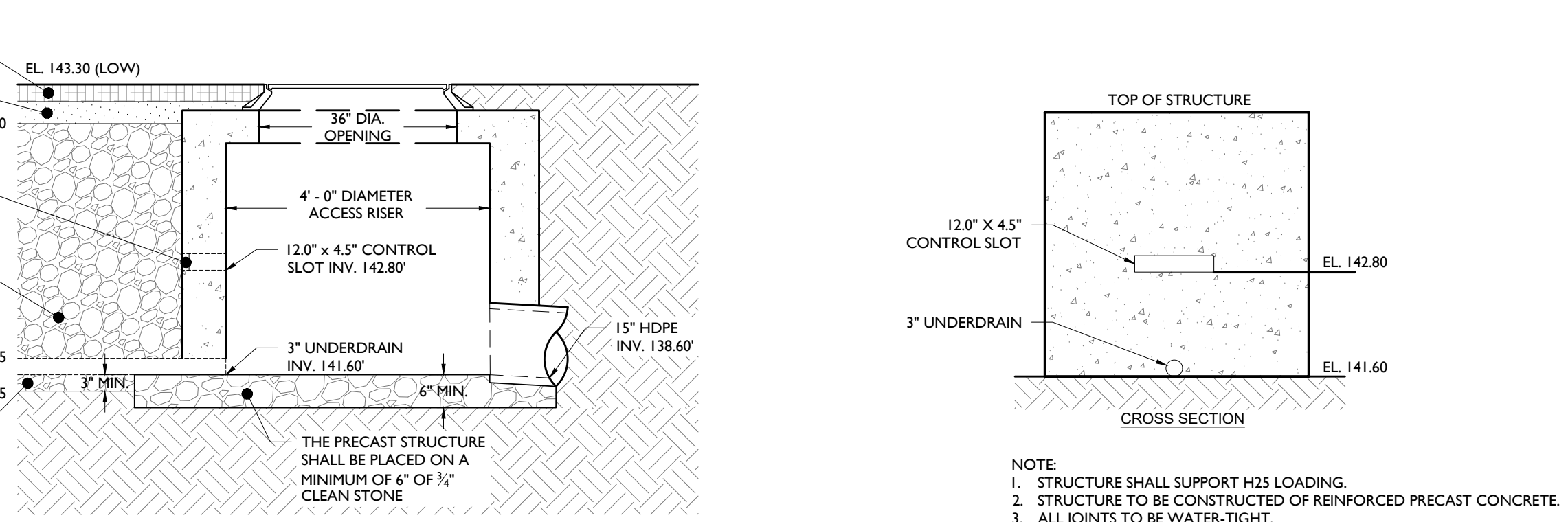
| Recharger 902HD End Cap | |
|-------------------------------|---|
| Size (L x W x H) | 28.0" x 78.0" x 48.5" |
| Installed Length | 24.0' |
| End Cap Storage | 9.01 ft ³ /ft 0.83 m ³ /m |
| Min. Installed Storage | 22.08 ft ³ /ft 2.05 m ³ /m |
| End Cap Weight | 46.0 lbs 20.86 kg |
| Shipping | 10 end caps/skid 540 lbs/skid |
| Max. Inlet Opening in End Cap | 30" HDPE, 36" PVC |
| | 750 mm HDPE, 900 mm PVC |

| Stone Foundation Depth | 9" | | | 12" | | | 18" | | |
|---------------------------------------|-----------------------|------------------------|------------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|
| | 229 mm | 305 mm | 457 mm | 229 mm | 305 mm | 457 mm | 229 mm | 305 mm | 457 mm |
| Chamber and Stone Storage Per Chamber | 99.28 ft ³ | 101.94 ft ³ | 107.26 ft ³ | 2.81 m ³ | 2.89 m ³ | 3.04 m ³ | 2.81 m ³ | 2.89 m ³ | 3.04 m ³ |
| Min. Effective Depth | 5.75' | 6.00' | 6.5' | 1.75 m | 1.83 m | 1.98 m | 5.75 m | 6.00 m | 6.5 m |
| Stone Required Per Chamber | 3.32 yd ³ | 3.56 yd ³ | 4.05 yd ³ | 2.54 m ³ | 2.72 m ³ | 3.06 m ³ | 2.54 m ³ | 2.72 m ³ | 3.06 m ³ |

CULTEC RECHARGER 902HD STORMWATER CHAMBER DETAIL
NOT TO SCALE

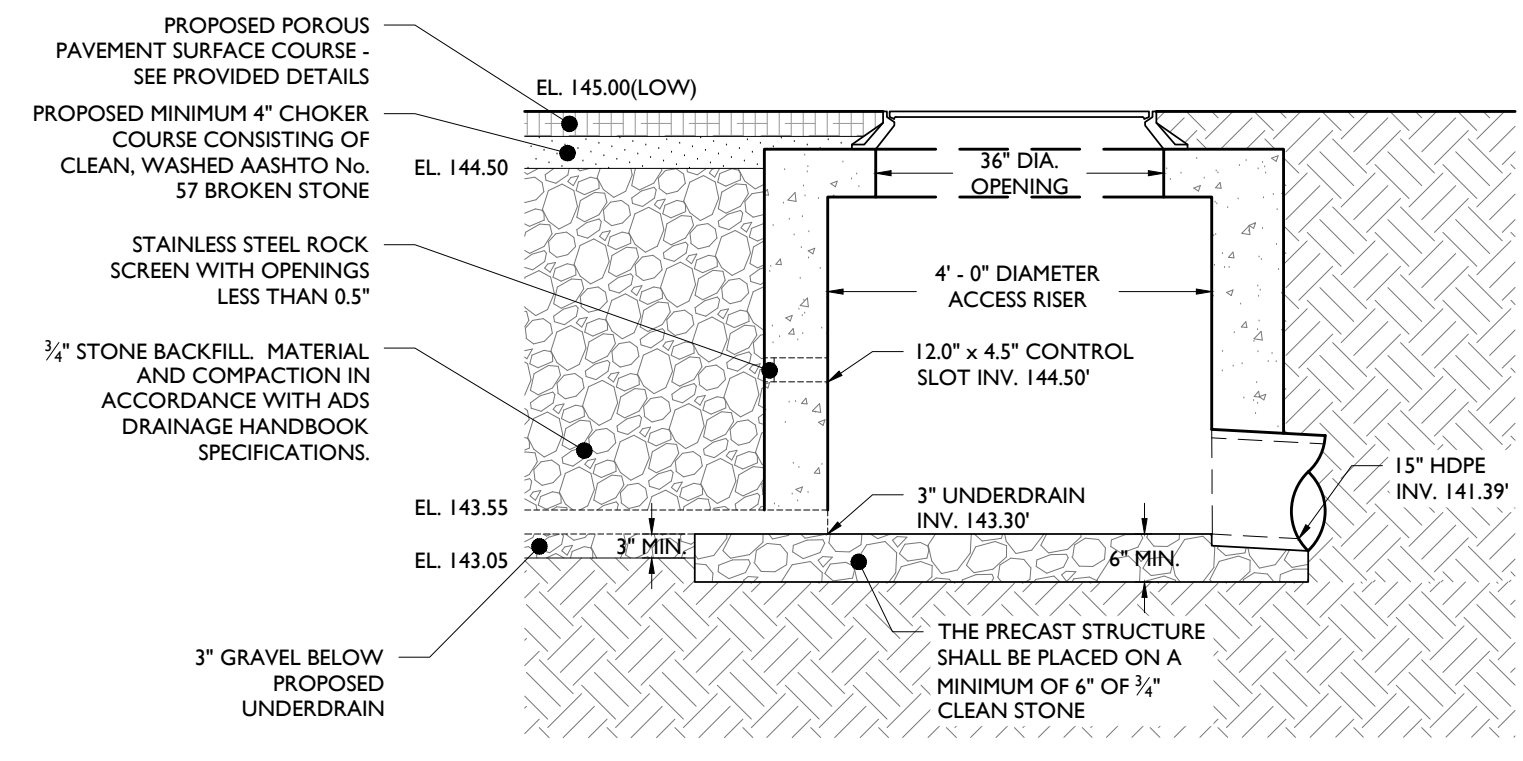


POROUS PAVEMENT OUTLET STRUCTURE (OS-4) DETAIL
SCALE: 1" = 2'



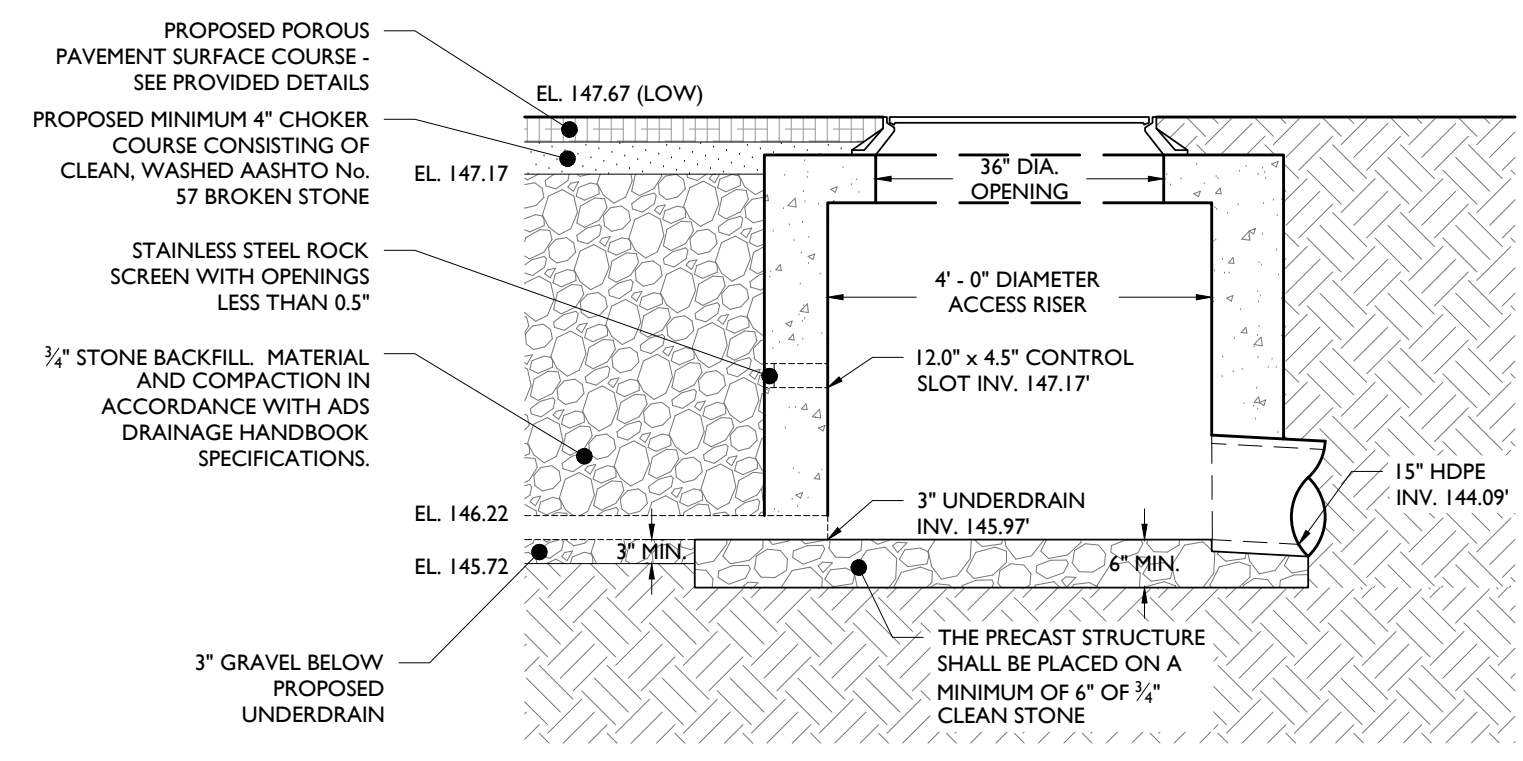
- NOTE:
- STRUCTURE SHALL SUPPORT H25 LOADING.
 - STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
 - ALL JOINTS TO BE WATER-TIGHT.

POROUS PAVEMENT OUTLET STRUCTURE (OS-5) DETAIL
SCALE: 1" = 2'



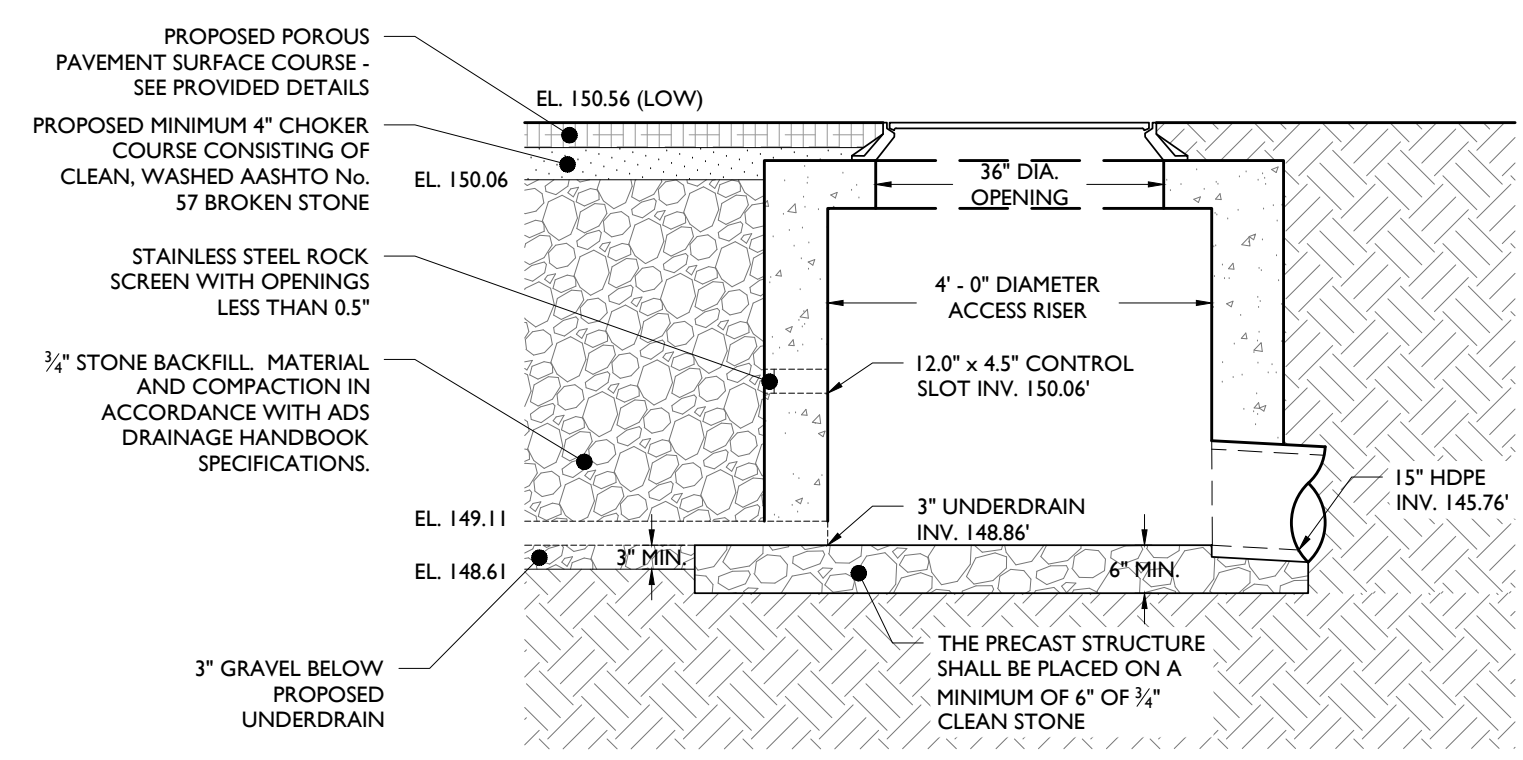
- NOTE:
- STRUCTURE SHALL SUPPORT H25 LOADING.
 - STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
 - ALL JOINTS TO BE WATER-TIGHT.

POROUS PAVEMENT OUTLET STRUCTURE (OS-6) DETAIL
SCALE: 1" = 2'



- NOTE:
- STRUCTURE SHALL SUPPORT H25 LOADING.
 - STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
 - ALL JOINTS TO BE WATER-TIGHT.

POROUS PAVEMENT OUTLET STRUCTURE (OS-7) DETAIL
SCALE: 1" = 2'



- NOTE:
- STRUCTURE SHALL SUPPORT H25 LOADING.
 - STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
 - ALL JOINTS TO BE WATER-TIGHT.

2: PINEHOLLOW DRIVE, SUITE 200, 1000 SOUTH STREET, NORTH PLAINFIELD, NEW JERSEY 07068

| | | |
|--------------------------|-------|-------------|
| FOR MUNICIPAL SUBMISSION | | DESCRIPTION |
| EGP | BY | |
| 03/18/2024 | DATE | |
| 1 | ISSUE | |

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PRELIMINARY & FINAL MAJOR SITE PLAN
PROPOSED RESIDENTIAL DEVELOPMENT

BLOCK 110, LOT 2.02 TO 2.13
430 GROVE STREET
BOROUGH OF NORTH PLAINFIELD
SOMERSET COUNTY, NEW JERSEY

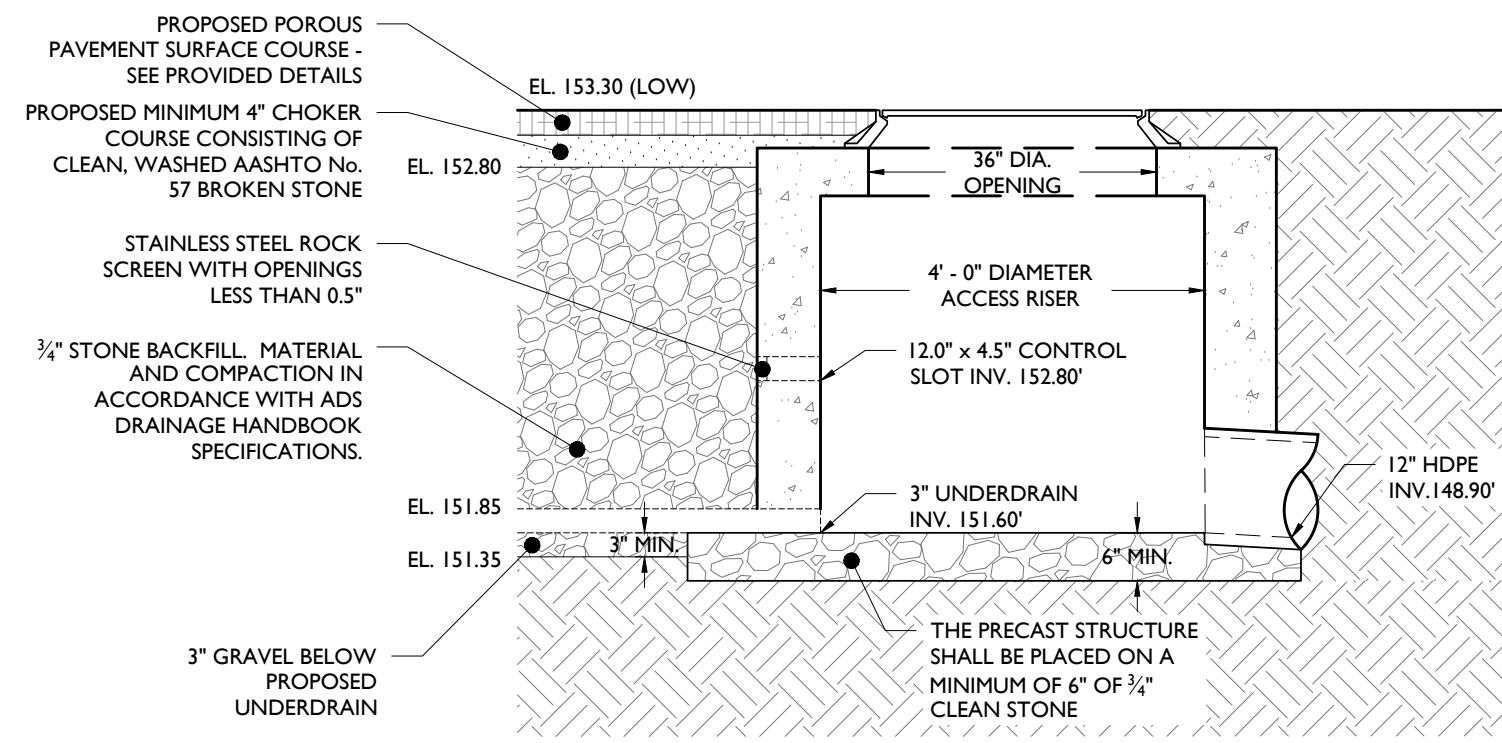
JOSHUA H. KLINE, P.E.
NEW JERSEY LICENSE NO. 54547
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
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SCALE: 1" = 30' PROJECT ID: PRI-23101

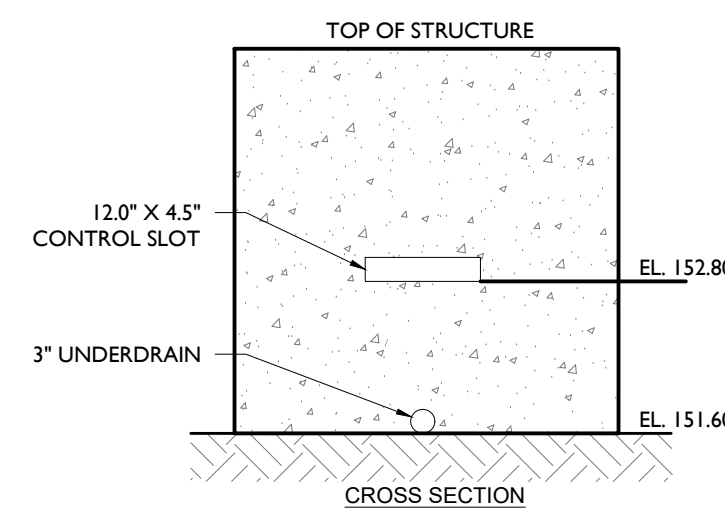
TITLE:
CONSTRUCTION DETAILS

DRAWING:
C-16



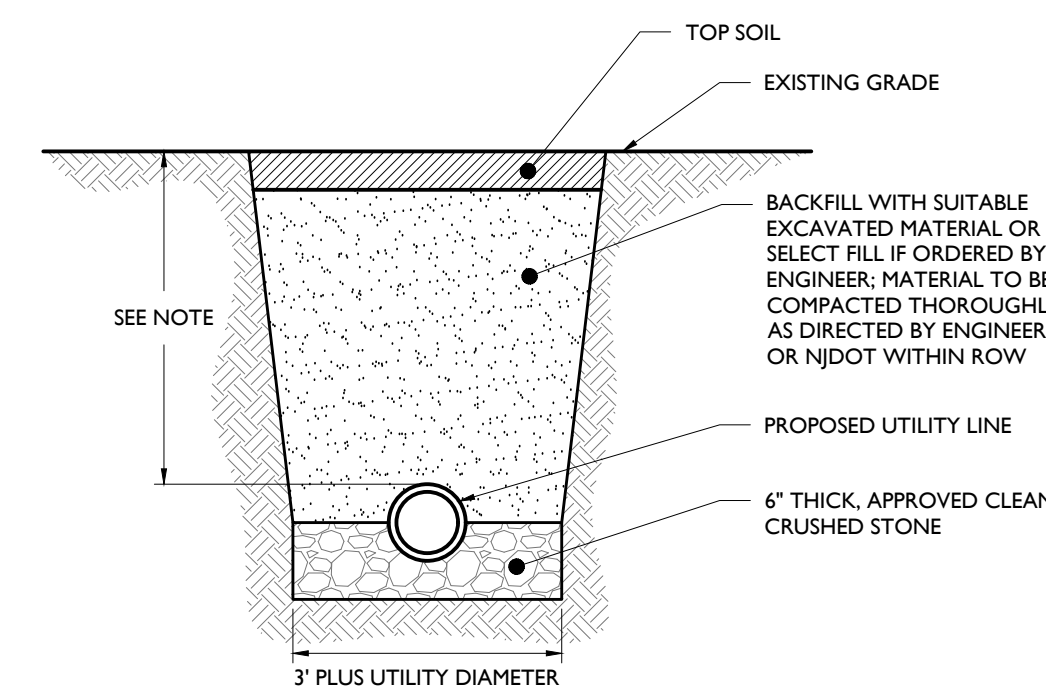
POROUS PAVEMENT OUTLET STRUCTURE (OS-8) DETAIL

SCALE: 1" = 2'



NOTE:
1. STRUCTURE SHALL SUPPORT H25 LOADING.
2. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
3. ALL JOINTS TO BE WATER-TIGHT.

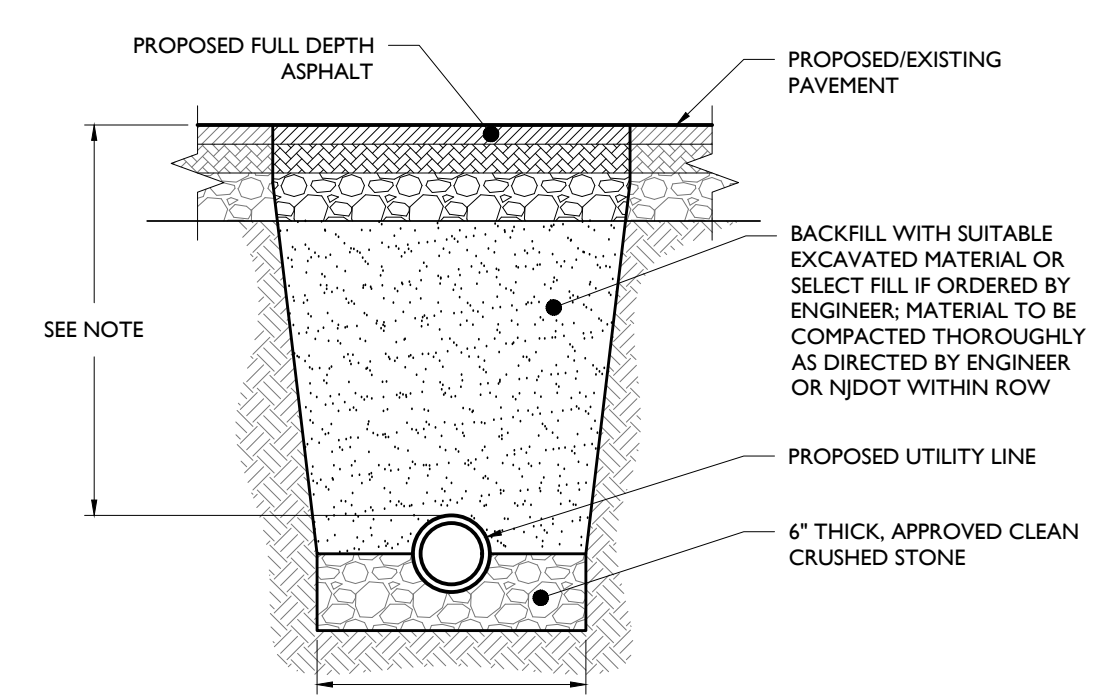
1



UTILITY TRENCH DETAIL (LANDSCAPED AREA)

NOTE:
MINIMUM PIPE COVER SHALL BE AS FOLLOWS:
• WATER - 48" MIN.
• STORM DRAIN - SEE DRAINAGE PLAN

2

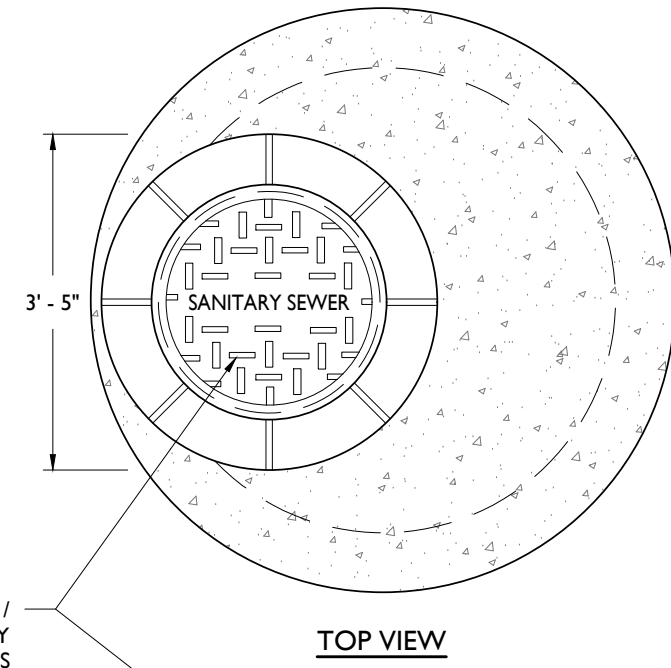


UTILITY TRENCH DETAIL (PAVED AREA)

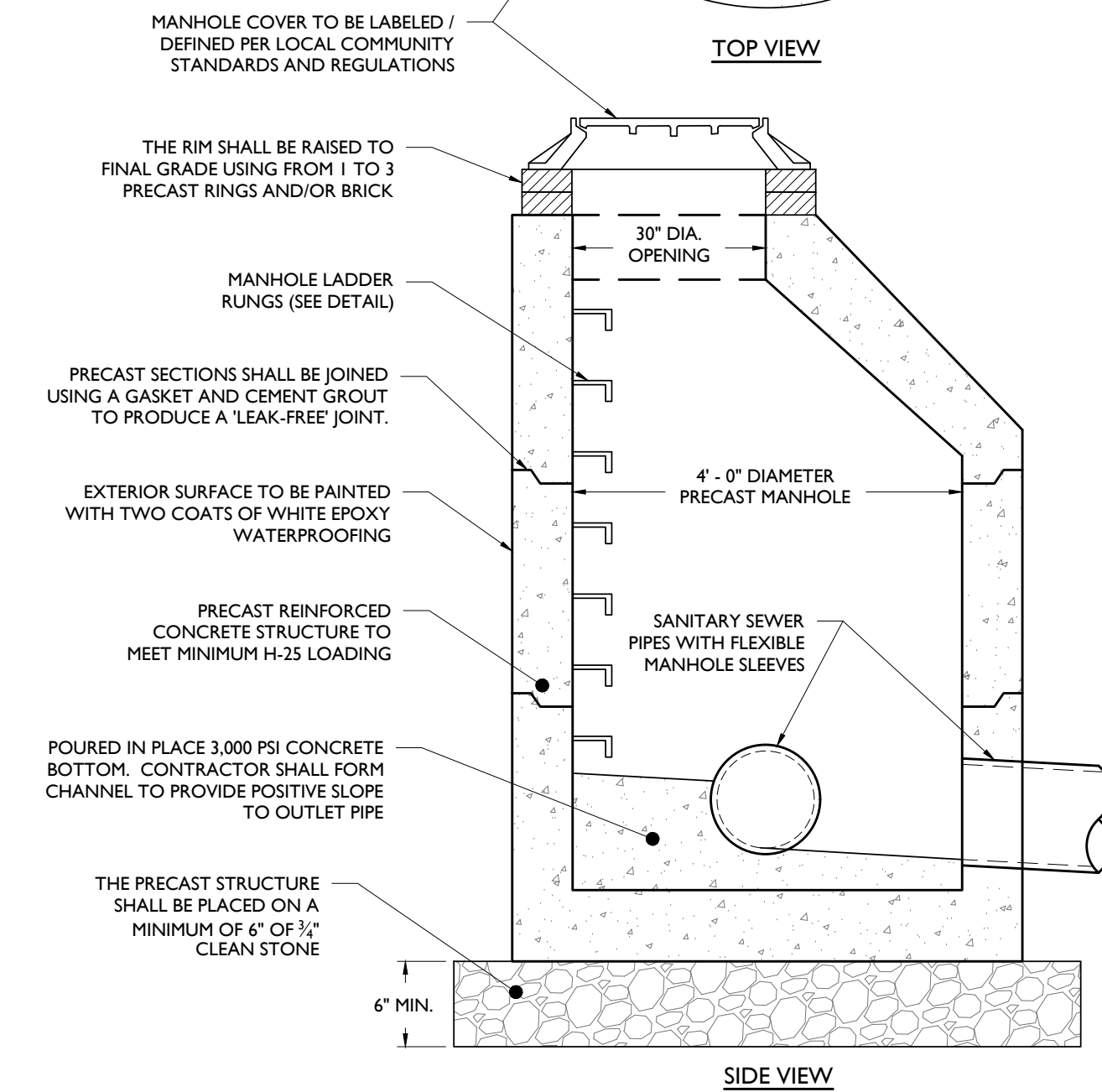
NOTE:
MINIMUM PIPE COVER SHALL BE AS FOLLOWS:
• WATER - 48" MIN.
• STORM DRAIN - SEE DRAINAGE PLAN

3

- NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE. FRAME AND COVER TO BE CAST-IRON AND SUPPORT MINIMUM H25 LOADING.
2. ALL JOINTS TO BE WATER-TIGHT.
3. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.



TOP VIEW



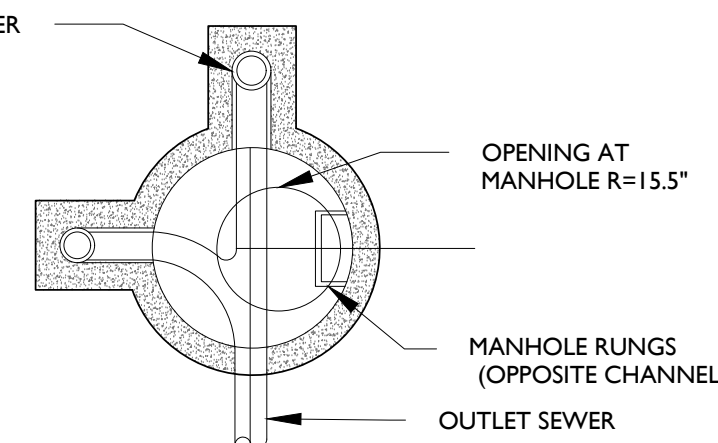
SIDE VIEW

SANITARY MANHOLE DETAIL

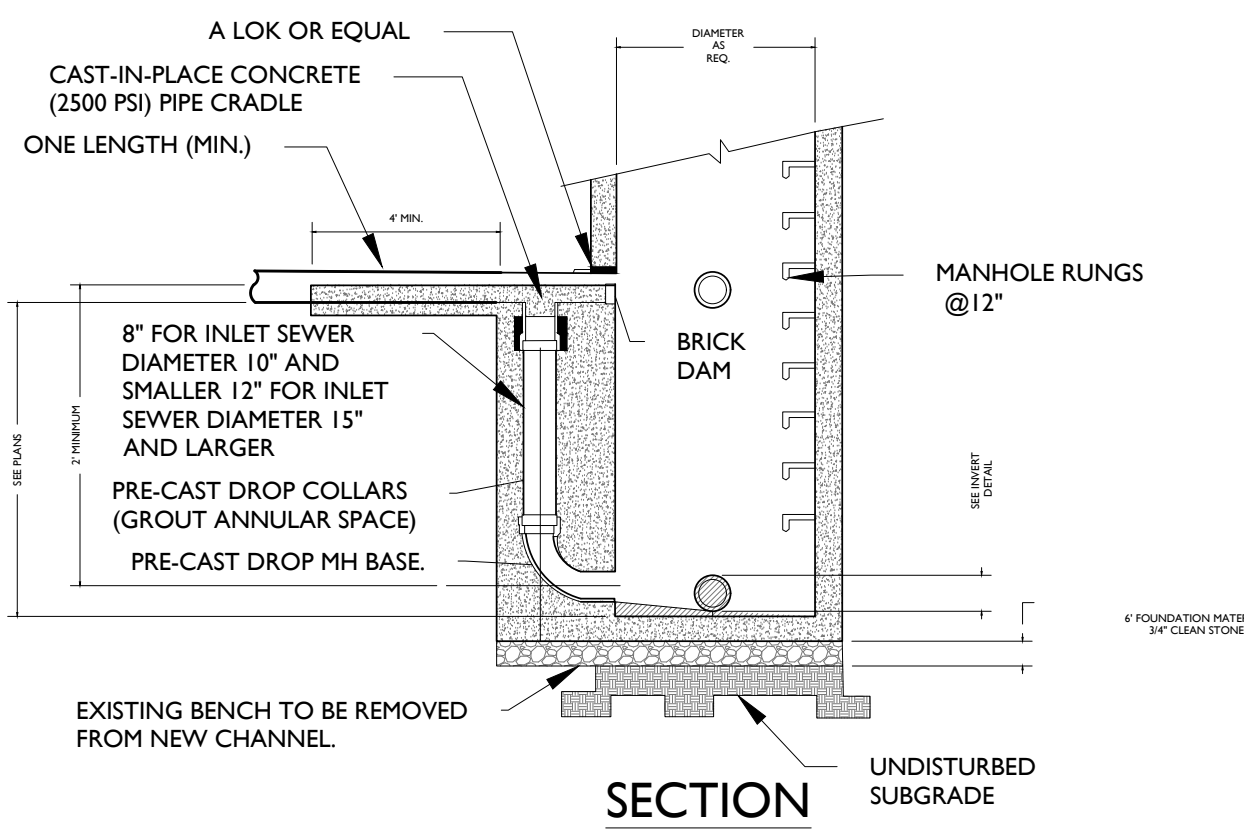
NOT TO SCALE

4

- NOTE:
1. SUBMIT SHOP DRAWINGS FOR APPROVAL.
2. BUTYL LOK SEALANT TUBE USED BETWEEN PRECAST SECTIONS.
3. DROP CONNECTIONS MORE THAN 10 FEET DEEP SHALL BE DUCTILE IRON PIPE CONSTRUCTION.
4. MANHOLE TO BE CONSTRUCTED IN ACCORDANCE WITH STANDARD MANHOLE DETAIL EXCEPT AS MODIFIED HEREIN.



PLAN

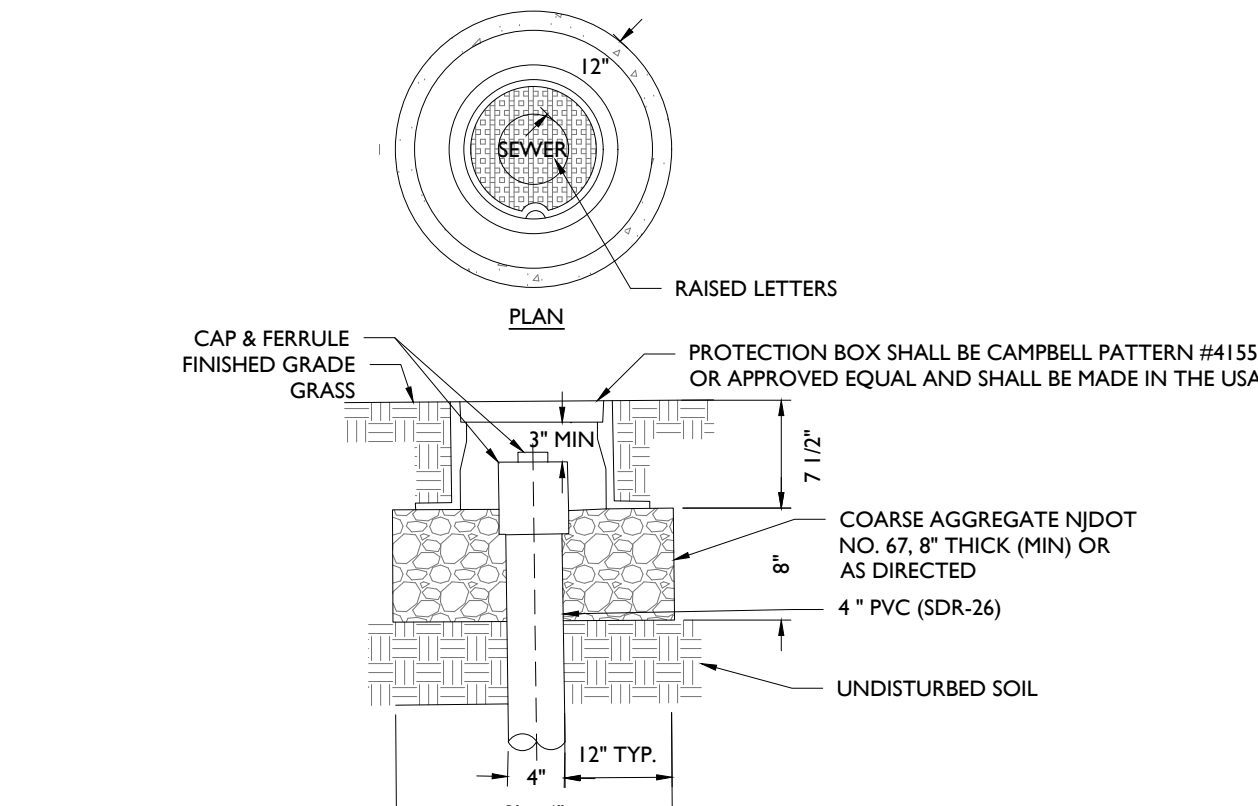


SECTION

DROP CONNECTION

NOT TO SCALE

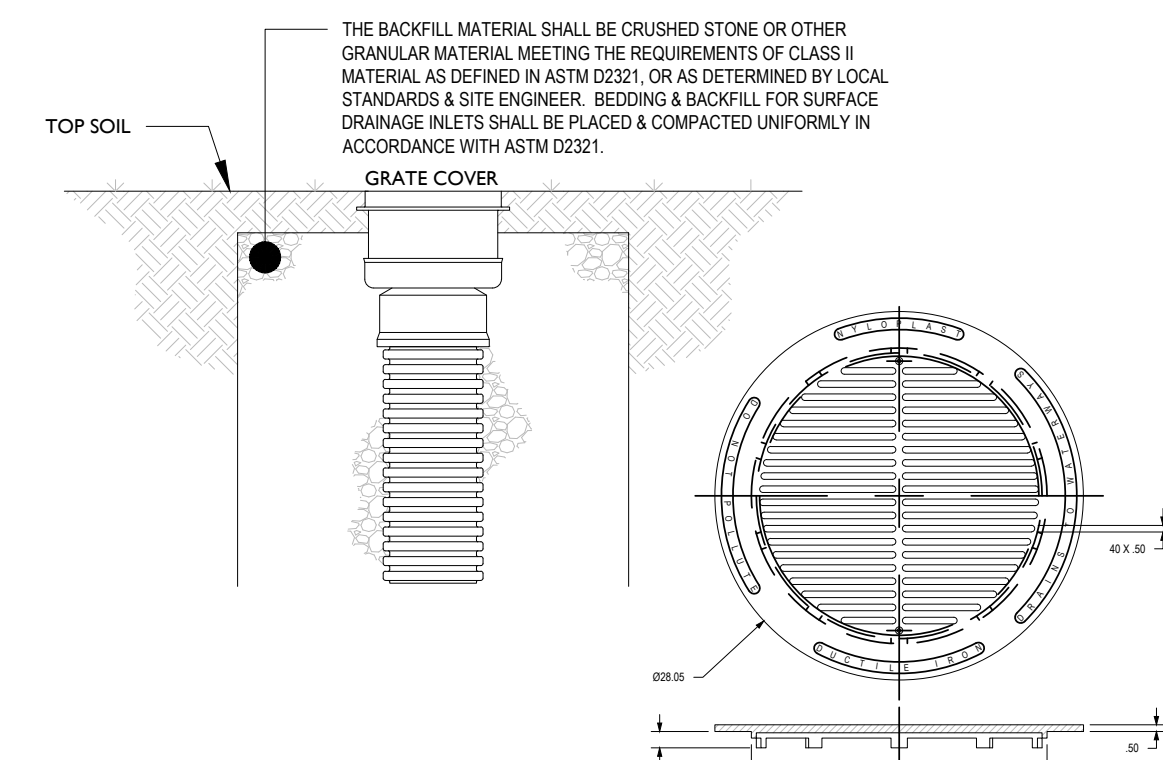
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CLEANOUT PROTECTION BOX DETAIL IN UNPAVED AREA

NOT TO SCALE

6

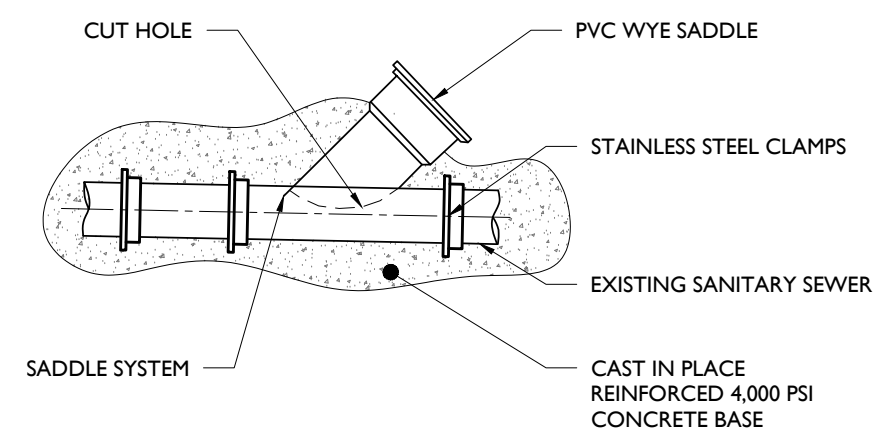


| GRATE OPTIONS | LOAD RATING | PART # | DRAWING # |
|---------------|-------------|---------|--------------|
| PEDESTRIAN | MEETS H-10 | 2499CGP | 7001-110-216 |

NYOPLAST INLINE DRAIN DETAIL

NOT TO SCALE

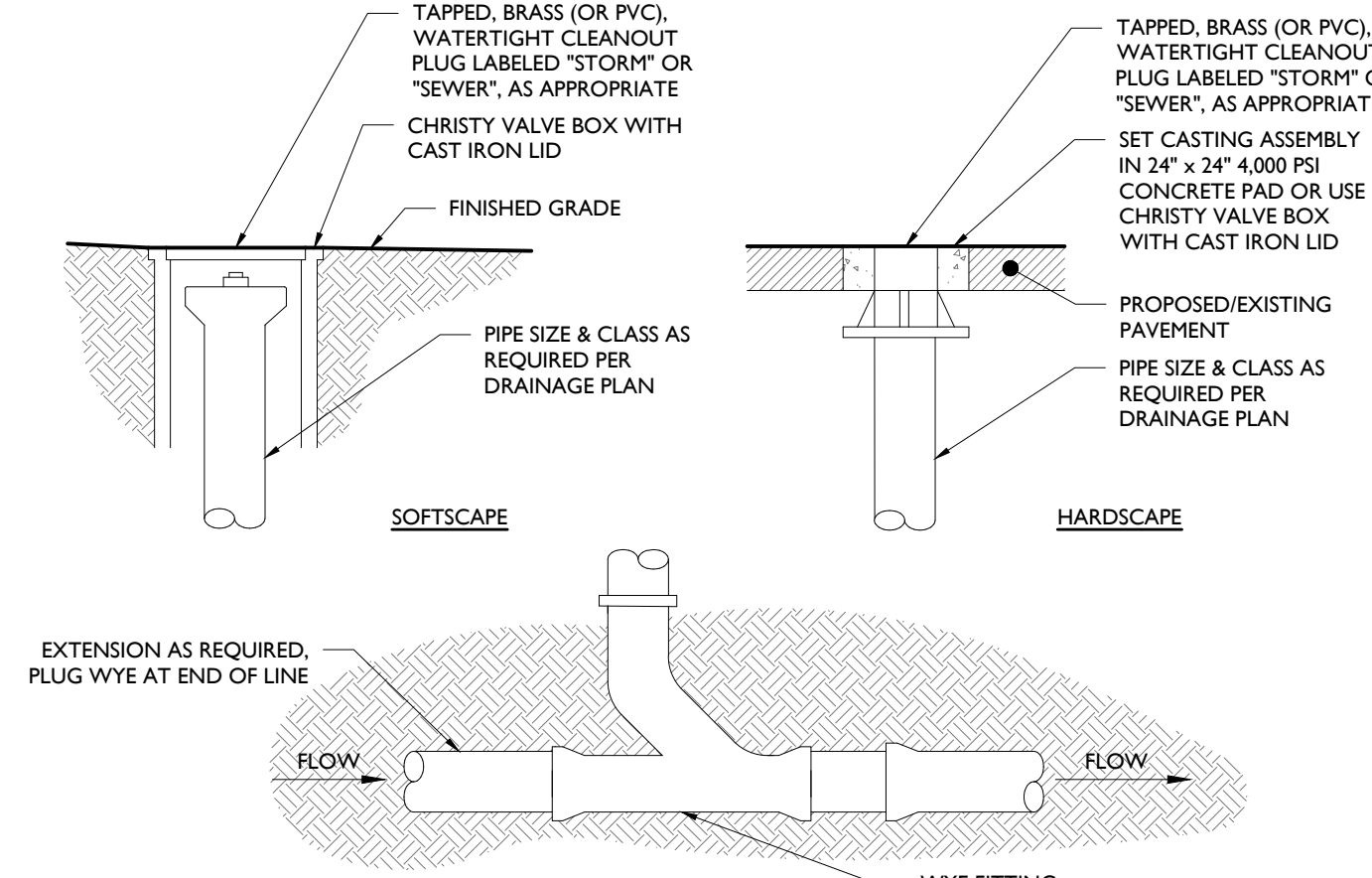
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SANITARY SADDLE CONNECTION DETAIL

NOT TO SCALE

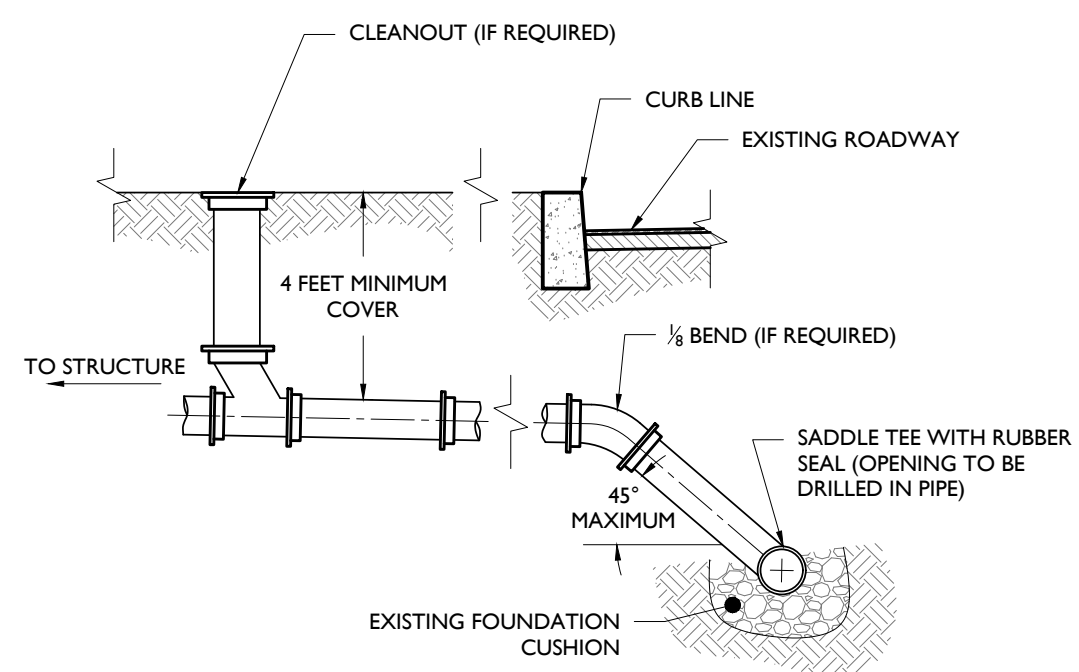
7



CLEAN-OUT DETAIL

NOT TO SCALE

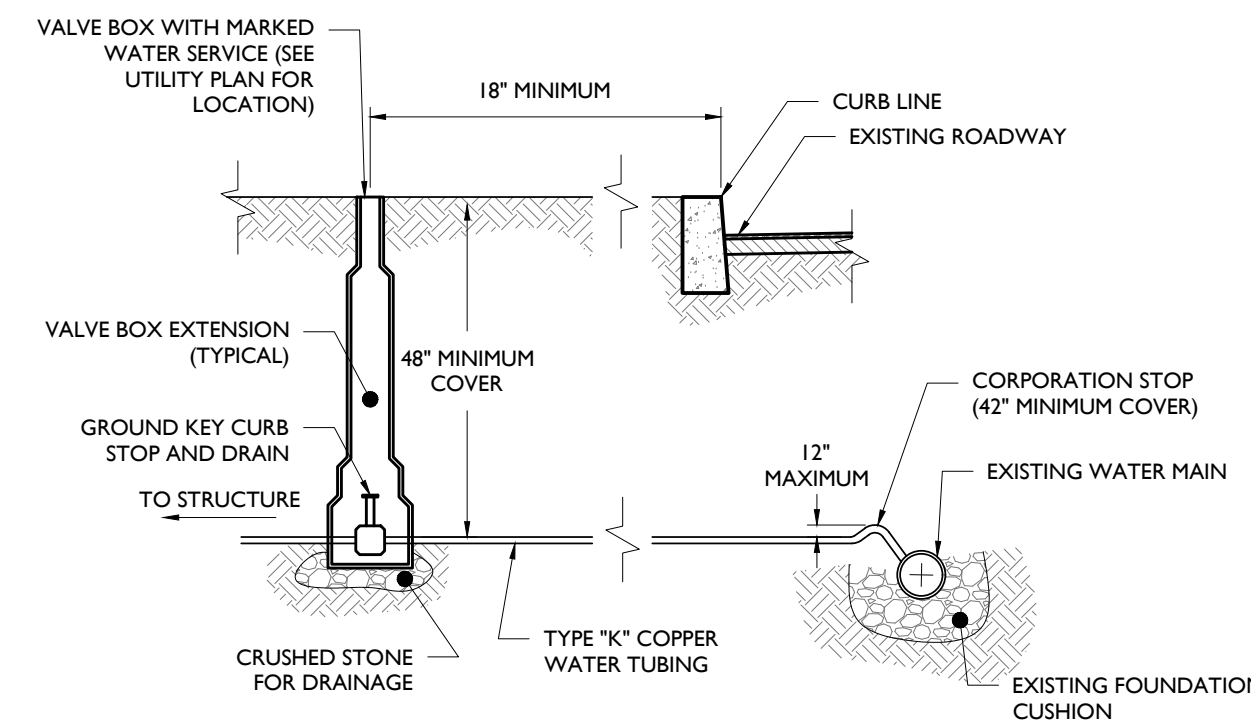
9



SEWER CONNECTION DETAIL

NOT TO SCALE

10



WATER CONNECTION DETAIL

NOT TO SCALE

11

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VILLANI REALTY GROUP

PROPOSED RESIDENTIAL DEVELOPMENT

BLOCK 110, LOT 2.02 TO 2.13
430 GROVE STREET
BOROUGH OF NORTH PLAINFIELD
SOMERSET COUNTY, NEW JERSEY

JOSHUA H. KLINE, P.E.
NEW JERSEY LICENSE No. 54347
LICENSED PROFESSIONAL ENGINEER

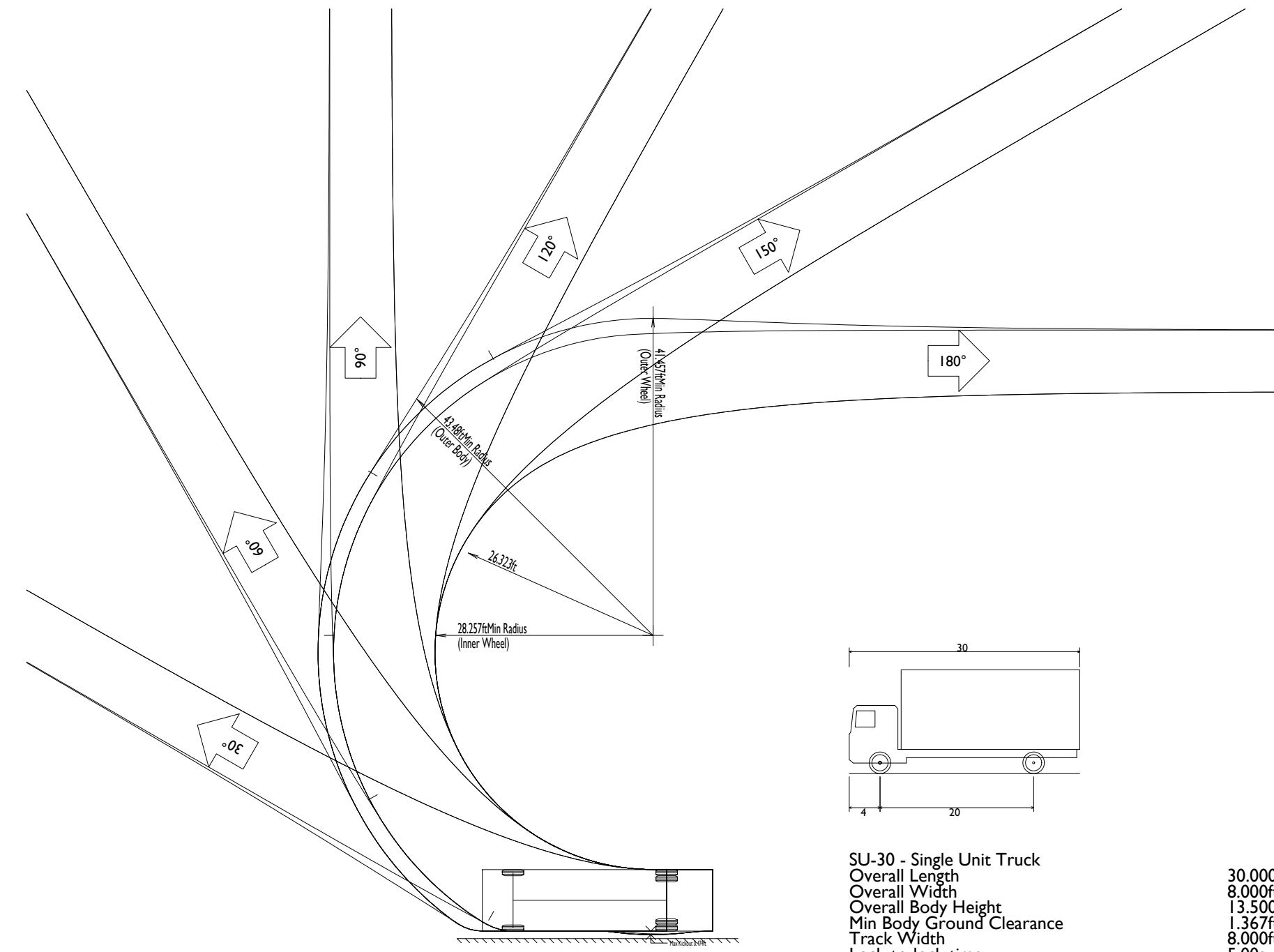
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SCALE: 1" = 30' PROJECT ID: PRI-23101

TITLE:
CONSTRUCTION DETAILS

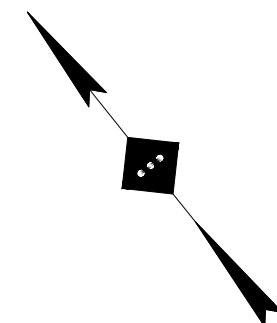
DRAWING:

C-17



SU-30 - Single Unit Truck
 Overall Length 30.000ft
 Overall Width 8.000ft
 Overall Body Height 13.500ft
 Min Body Ground Clearance 1.367ft
 Track Width 8.000ft
 Lock-to-lock time 5.00s
 Max Steering Angle (Virtual) 31.80°

Vehicle Turning (CEN) (S) (K) Autodesk, Inc. www.autodesk.com
 Notes:
 Turn(s) based upon a design speed of 1.00mph.



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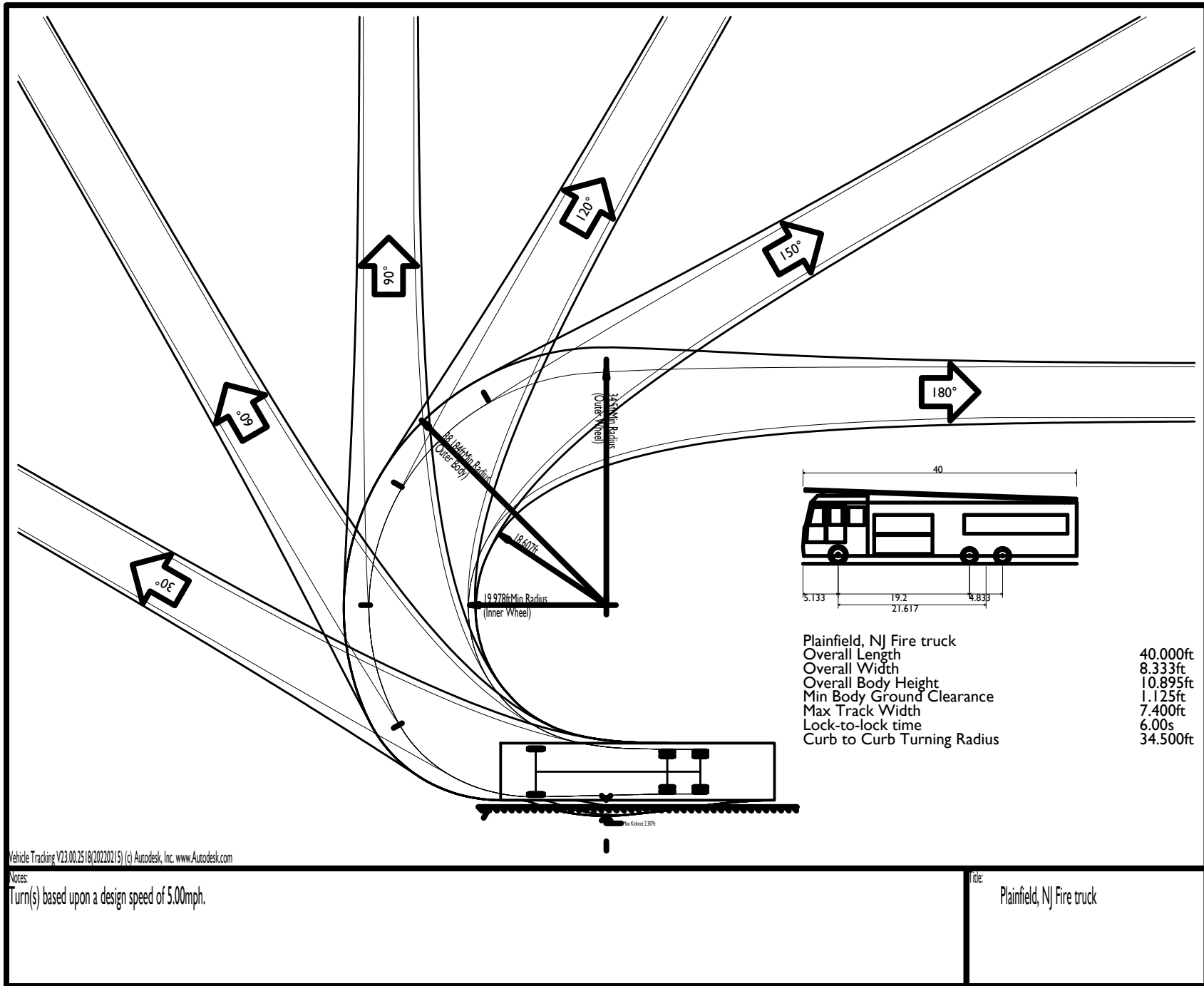
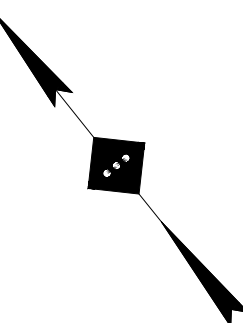
SCALE: 1" = 30' PROJECT ID: PRI-23101

TITLE:
**TRUCK TURNS
 (SU-30)**

DRAWING:
C-19

| ISSUE | DATE | BY | DESCRIPTION |
|-------|------------|-----|--------------------------|
| I | 03/18/2024 | EGB | FOR MUNICIPAL SUBMISSION |

2:PRINCEGTON0223190120131 TAYLOR ARCHITECTURE - 400 GROVE STREET, NORTH PLAINFIELD, NJ 07063 (LOT 104) 15:17:10 C:\DWG



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VILLANI REALTY GROUP

PROPOSED RESIDENTIAL DEVELOPMENT

BLOCK 110, LOT 2.02 TO 2.13
 430 GROVE STREET
 BOROUGH OF NORTH PLAINFIELD
 SOMERSET COUNTY, NEW JERSEY

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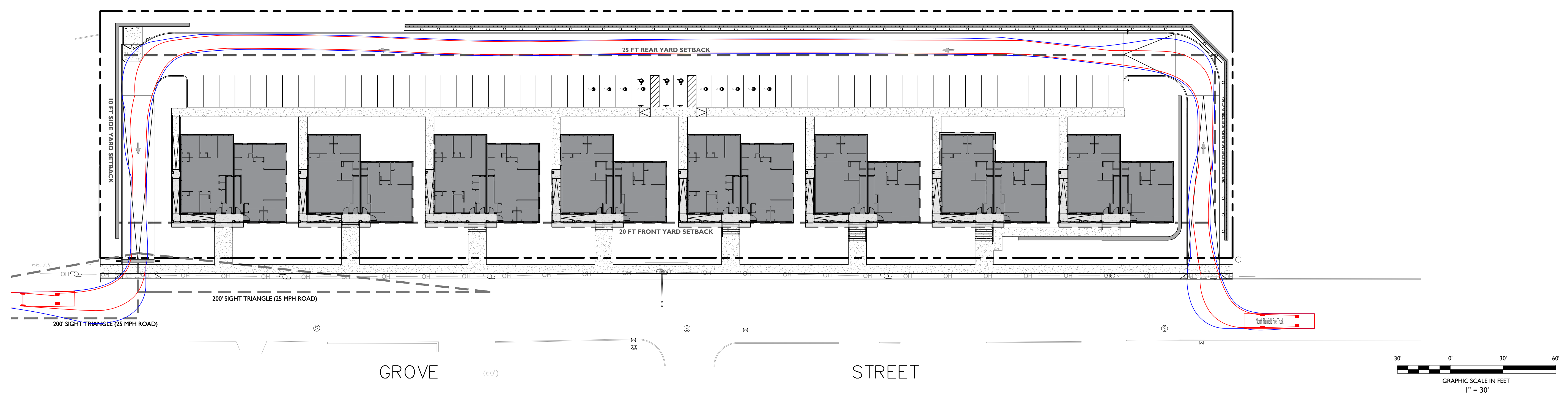
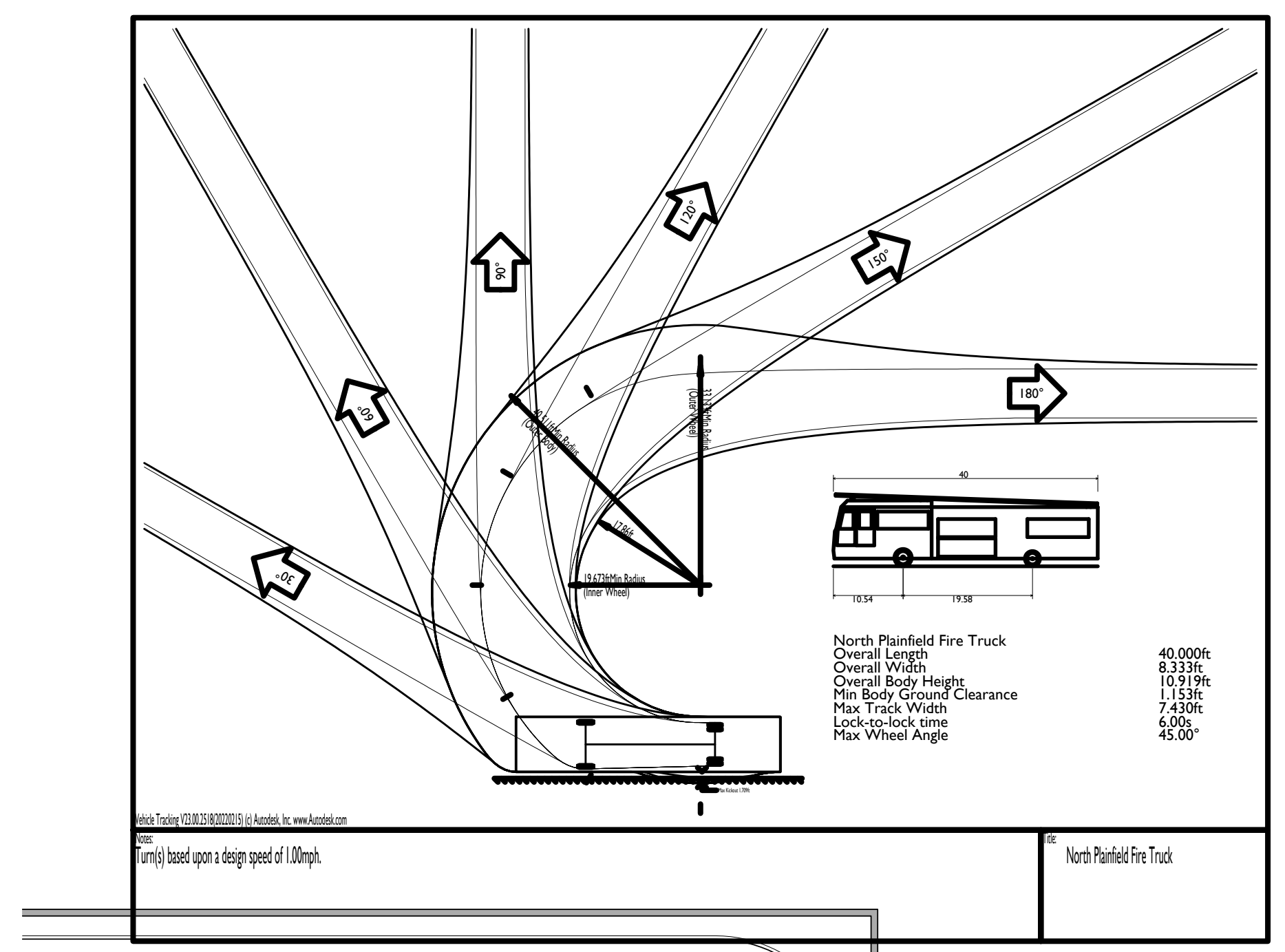
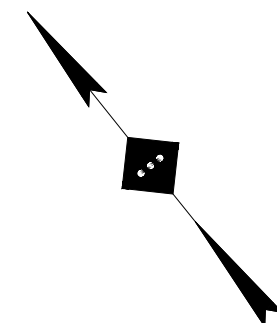
SCALE: 1" = 30' PROJECT ID: PRI-23101

TITLE:
**TRUCK TURNS
 (PLAINFIELD FIRE TRUCK)
 (E-ONE HP 95)**

DRAWING:
C-19

| ISSUE | DATE | BY | DESCRIPTION |
|-------|------------|-----|--------------------------|
| 1 | 07/18/2024 | EGB | FOR MUNICIPAL SUBMISSION |

2:PRINCEGTON02231991201011 TAYLOR ARCHITECTURE - 400 GROVE STREET, NORTH PLAINFIELD, NJ 07060 LOT 101, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000



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VILLANI REALTY GROUP

PROPOSED RESIDENTIAL DEVELOPMENT

BLOCK 110, LOT 2.02 TO 2.13
 430 GROVE STREET
 BOROUGH OF NORTH PLAINFIELD
 SOMERSET COUNTY, NEW JERSEY

JOSHUA H. KLINE, P.E.
 NEW JERSEY LICENSE No. 54347
 LICENSED PROFESSIONAL ENGINEER

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SCALE: 1" = 30' PROJECT ID: PRI-23101

TITLE:
**TRUCK TURNS
 (NORTH PLAINFIELD
 FIRE TRUCK HR 100)**

DRAWING:
C-21

| ISSUE | DATE | BY | DESCRIPTION |
|-------|------------|-----|--------------------------|
| 1 | 03/18/2024 | EGB | FOR MUNICIPAL SUBMISSION |

2:PRINCEGTON0223199120101 TAYLOR ARCHITECTURE - 400 GROVE STREET - NORTH PLAINFIELD, NJ 07063 LOT 104 15 17 18 19 20 21