

PRELIMINARY & FINAL SITE PLAN

FOR

933 ROUTE 22 WEST, LLC

PROPOSED



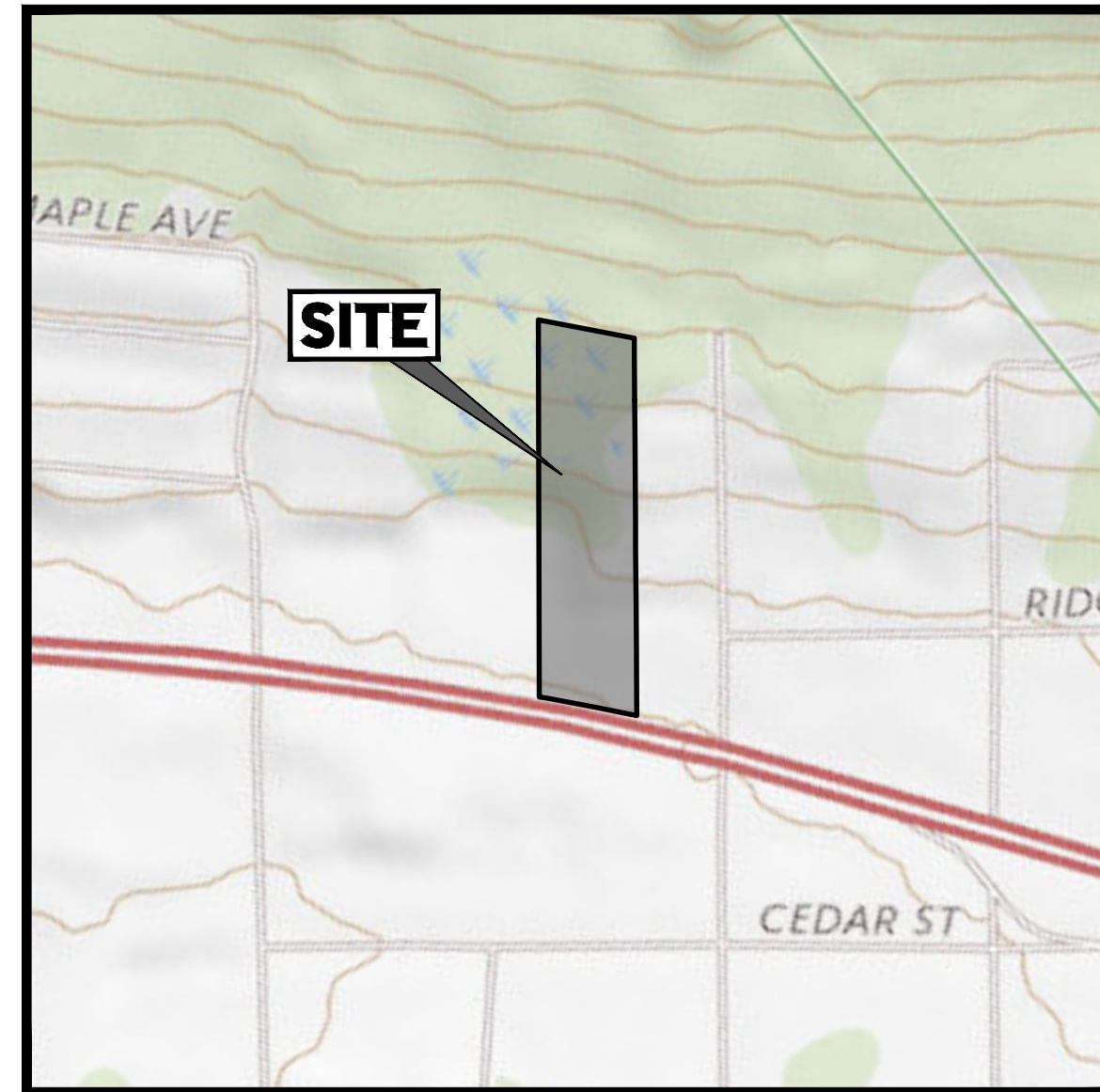
POPEYES

POPEYES RESTAURANT WITH DRIVE-THRU

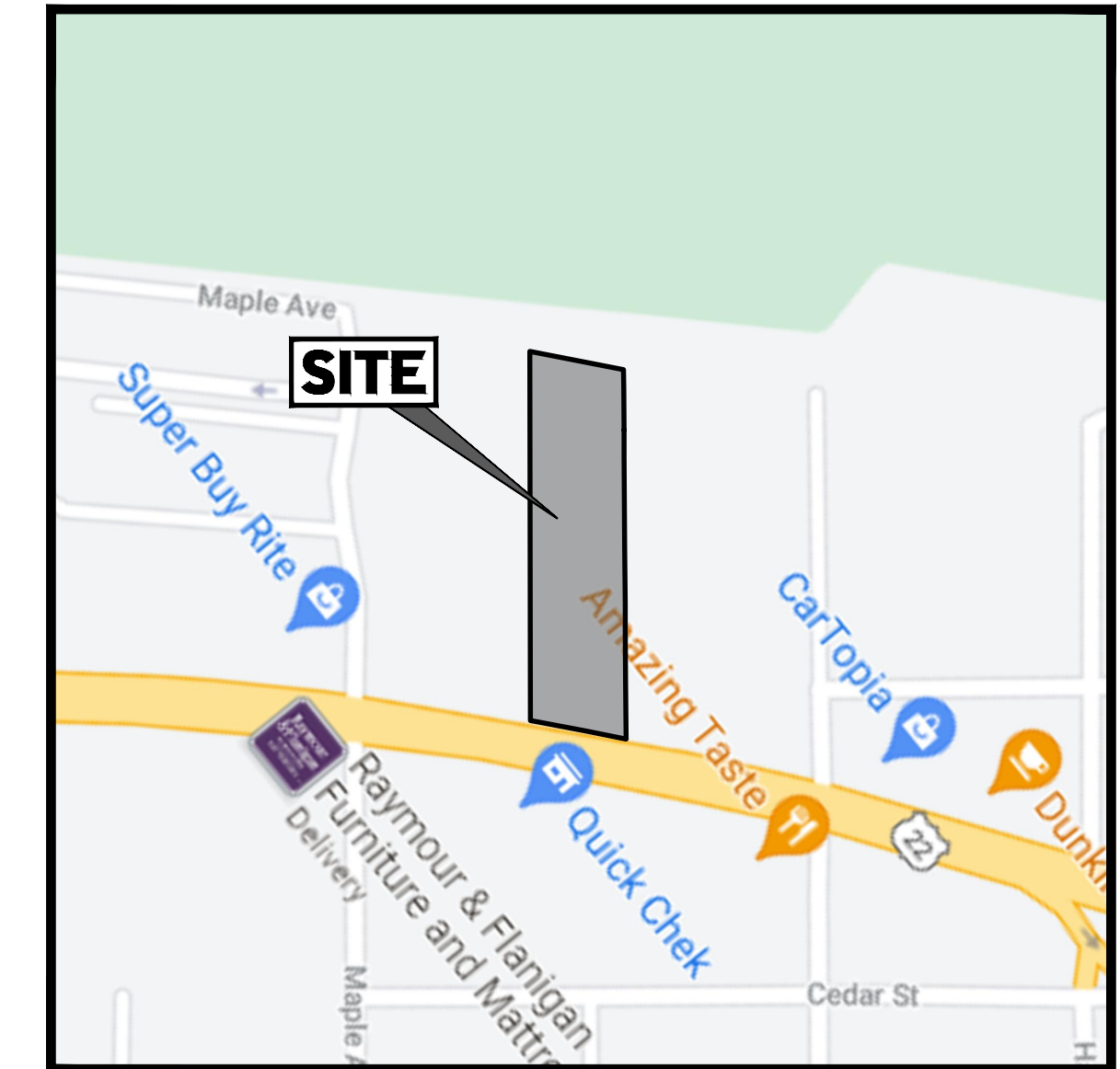
BLOCK: 158 LOT: 9

933 N.J.S.H. ROUTE 22 WEST

BOROUGH OF NORTH PLAINFIELD
SOMERSET COUNTY, NEW JERSEY



USGS MAP
SCALE: 1" = 300'
SOURCE: USGS ONLINE MAPPING



KEY MAP
SCALE: 1" = 300'
SOURCE: GOOGLE MAPS

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SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	08/31/2021	REV. PER SUSCD COMMENTS	AMD

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PROJECT No.:	J201001
DRAWN BY:	AMD
CHECKED BY:	TXL
DATE:	08/26/2021
CAD ID.:	J201001-COVR-1A

**PRELIMINARY & FINAL
SITE PLAN**
FOR
933 ROUTE 22 WEST, LLC
PROPOSED
POPEYES RESTAURANT
WITH DRIVE-THRU
BLK: 158 | LOT: 9
933 N.J.S.H. ROUTE 22 WEST
BOROUGH OF NORTH PLAINFIELD
SOMERSET COUNTY, NEW JERSEY

BOHLER
BOHLER ENGINEERING NJ, LLC
30 INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059
Phone: (908) 685-6300
Fax: (908) 724-4401
www.BohlerEngineering.com
NJ CERT. OF AUTHORIZATION NO. 246A28191700 & M6000122

T. LAM
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 47862
NEW YORK LICENSE No. 092942
CONNECTICUT LICENSE No. 30024
PENNSYLVANIA LICENSE No. 76746

SHEET TITLE:
COVER SHEET
SHEET NUMBER:
C-101
REVISION 1 - 08/31/2021

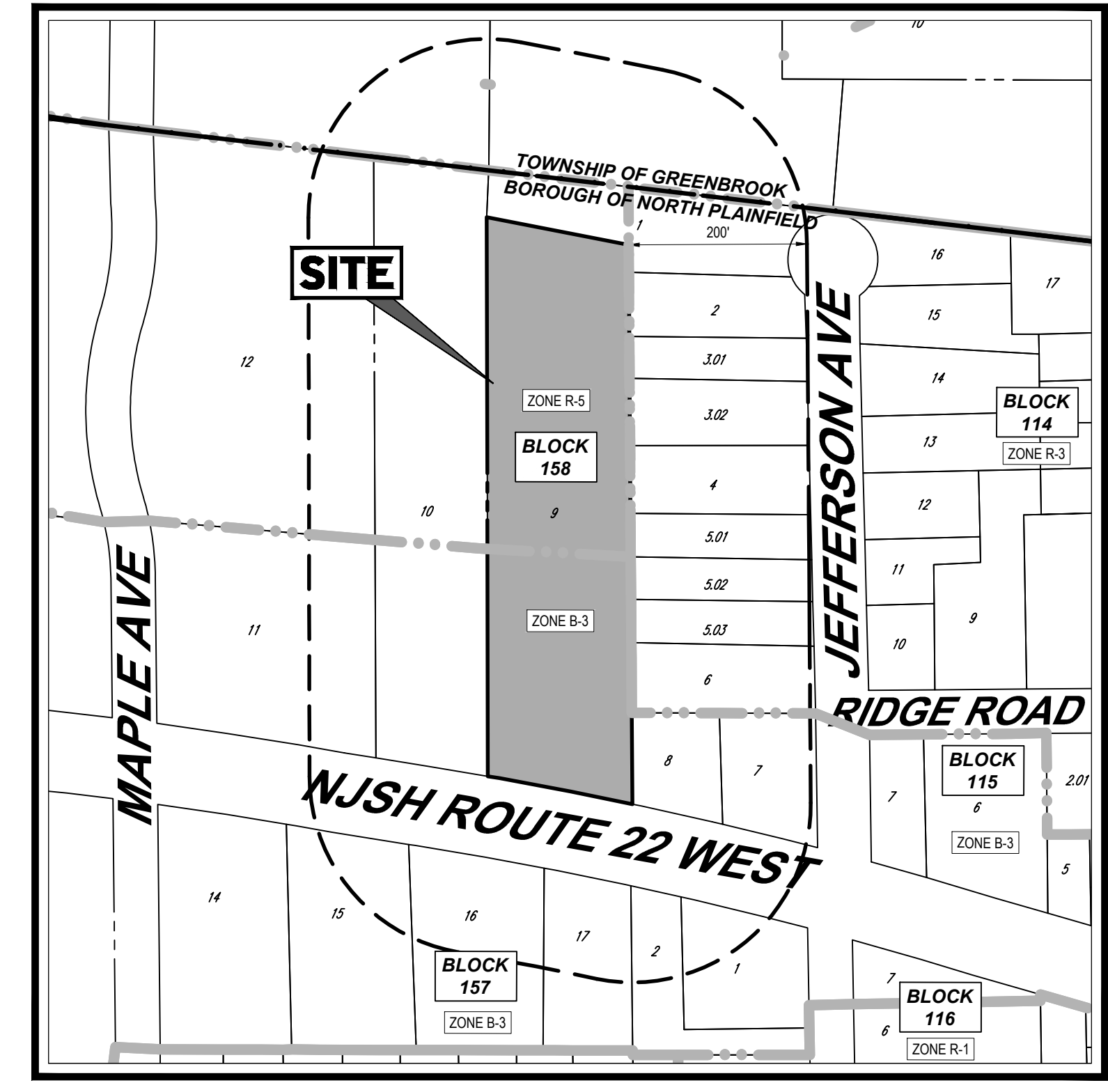
DRAWING SHEET INDEX

SHEET TITLE	NUMBER
COVER SHEET	C-101
NOTES AND REFERENCES SHEET	C-102
DEMOLITION PLAN	C-201
OVERALL SITE LAYOUT PLAN	C-301
SITE LAYOUT PLAN	C-302
GRADING PLAN	C-401
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SOIL EROSION & SEDIMENT CONTROL PLAN	C-601
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LANDSCAPE NOTES & DETAILS	C-702
LIGHTING PLAN	C-703
DETAIL SHEETS	C-901 - C-908
TRAFFIC CONTROL PLAN	1 OF 2
TRAFFIC CONTROL PLAN - DETAILS	2 OF 2

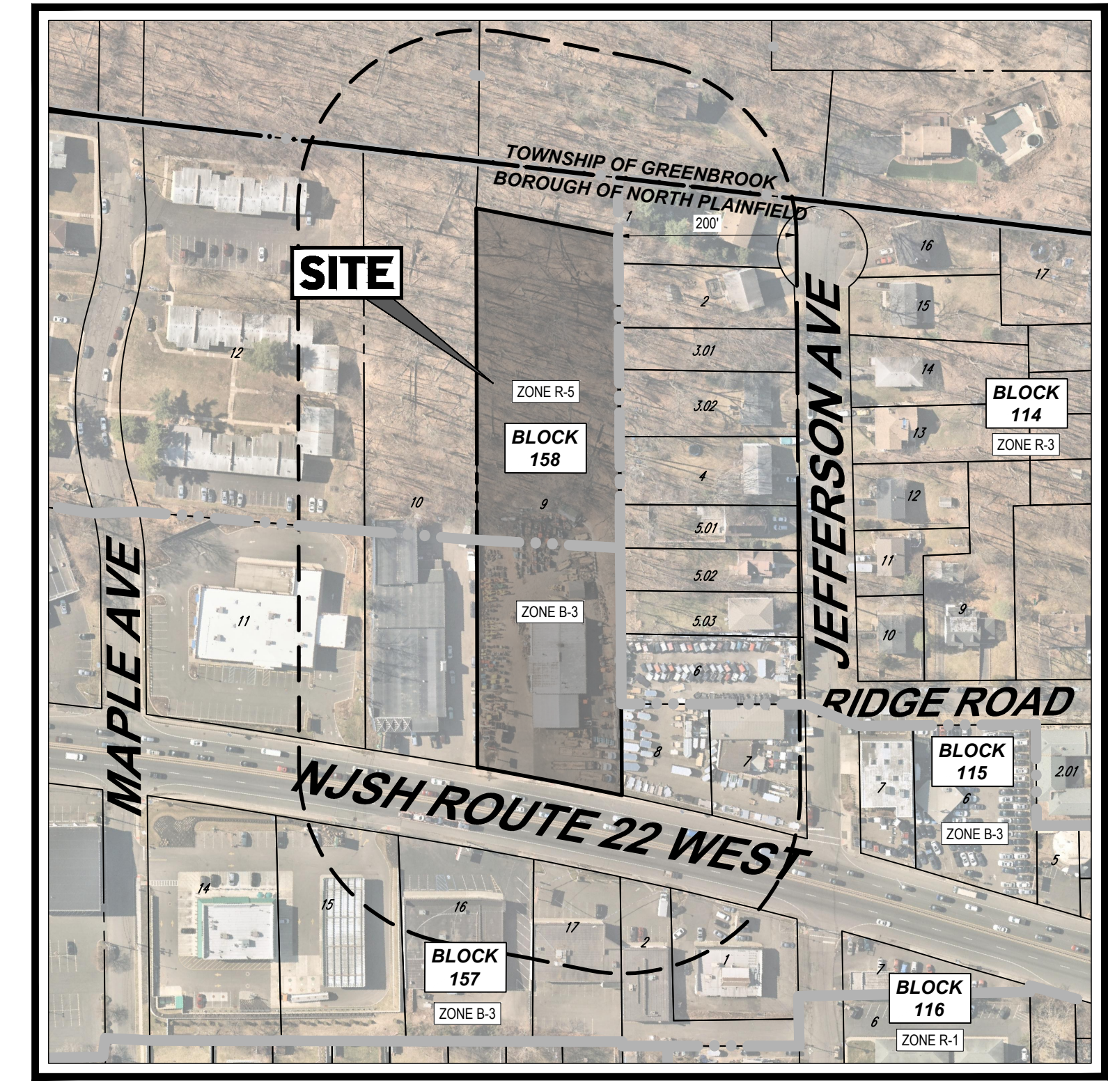
APPROVAL BLOCK

BOROUGH OF NORTH PLAINFIELD BOARD OF ADJUSTMENT
APPROVED BY THE BOARD OF ADJUSTMENT OF THE
BOROUGH OF NORTH PLAINFIELD, NEW JERSEY.

BOARD CHAIRMAN	DATE
BOARD SECRETARY	DATE
BOROUGH ENGINEER	DATE



TAX MAP
SCALE: 1" = 150'
SOURCE: NJ GIS



AERIAL MAP
SCALE: 1" = 150'
SOURCE: NEAR MAPS

PREPARED BY

BOHLER

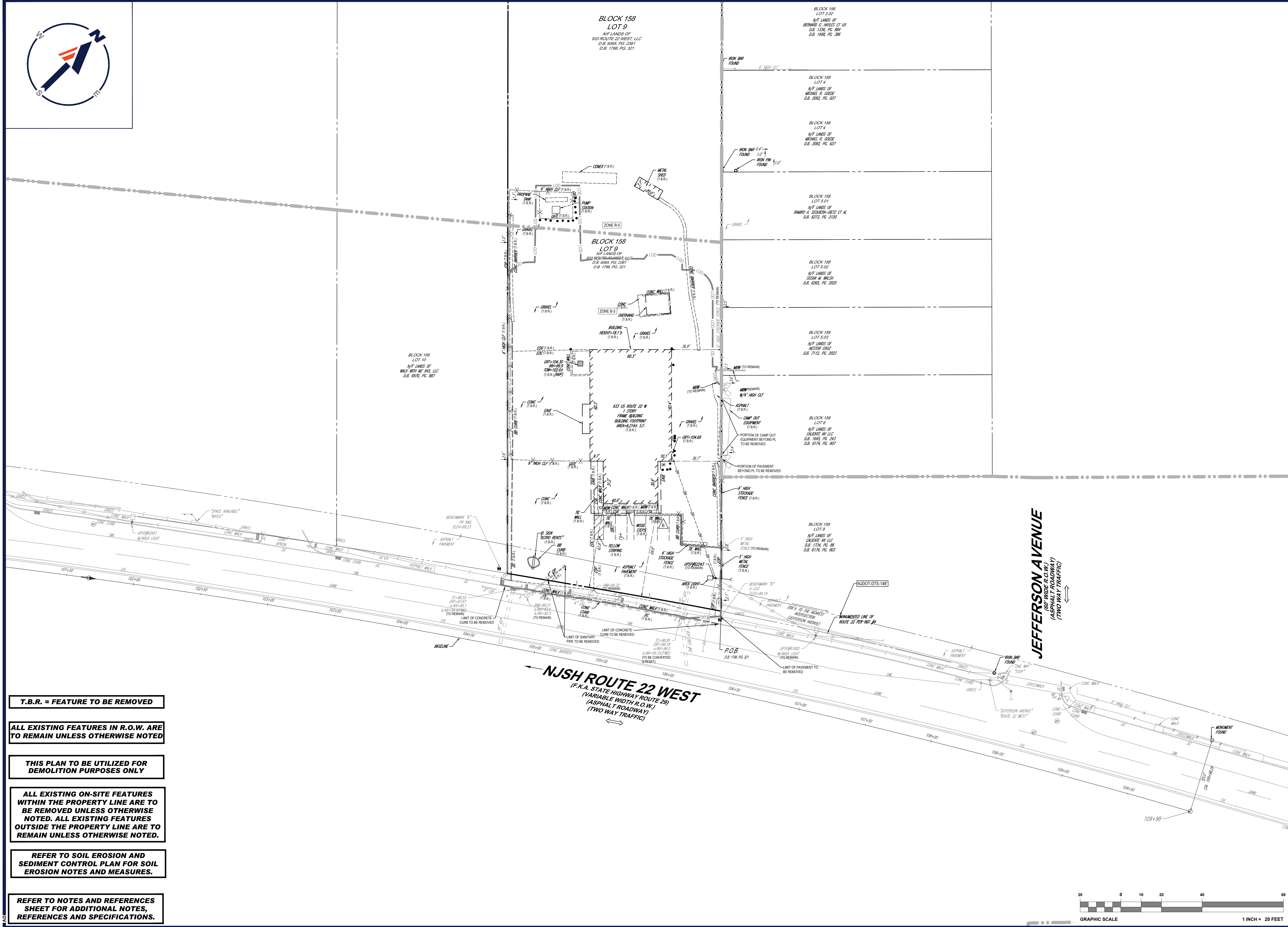
PROPERTY OWNERS LIST
WITHIN XXX' RADIUS

BLOCK	LOT	OWNER	BLOCK	LOT	OWNER
157.0	1	JBS REALTY, LLC 918-828 ROUTE 22 EAST 07060	158.0	5.01	SECURERA-DIETZ, CLAUPE, R. & F. N. 312 JEFFERSON AVENUE 07060
157.0	2	934 ROUTE 22, LLC C/O 2 THE ROAD, 54202-A EDISON, NJ 08817	158.0	5.02	WALSH, SUSAN 311 JEFFERSON AVENUE 07060
157.0	15	CORUMARK NO. PLAINFIELD, LLC PO BOX 600 WHITEHOUSE STATION, NJ 08889	158.0	5.03	CRUZ, NESTOR 307 JEFFERSON AVENUE 07060
157.0	16	KONIGSANTL, VENKAT, JVR FUNDING LLC 515 CONSTITUTION WAY JERSEY CITY, NJ 07305	158.0	6	CAULENTE NV, LLC PO BOX 12 BLOOMSBURY, NJ 08804
157.0	17	934 ROUTE 22, LLC C/O 2 THE ROAD, 51-202A EDISON, NJ 08817	158.0	7	CAULENTE NV, LLC PO BOX 12 BLOOMSBURY, NJ 08804
158.0	1	LIU, GENG & KANG, LE 8 SEASON HILL ROAD FLORHAM PARK, NJ 07932	158.0	8	CAULENTE NV, LLC PO BOX 12 BLOOMSBURY, NJ 08804
158.0	2	D'ARICE, RIEGO, CYNTHIA A & SEAN, C. 335-137 JEFFERSON AVENUE 07060	158.0	10	WALK WITH ME 945 LLC 945 NICH 2204 07060
158.0	3.01	JOHNSON, BRIAN & DANA PO BOX 4158 DORSET, NJ 08812	158.0	11	B-TWO REALTY, LLC 826 1/2 AVE NEW YORK, NY 10001
158.0	3.02	HAYLES, ANNEMARIE 311 JEFFERSON AVENUE 07060	158.0	12	H&W GARDENS ASSOCIATES 809 MORRIS TRUNK, STE 303 SHORT HILLS, NJ 07078
158.0	4	GOENE, MICHAEL 6175 OAK HOLLOW DRIVE BURLINGTON, NJ 08013-1839	158.0	14	

ALSO TO BE NOTIFIED:
DONNA SHORT
GIS SUPERVISOR
NEW JERSEY AMERICAN WATER COMPANY, INC.
1025 LAUREL OAK ROAD
TOORNEES, NJ 08043

ALSO TO BE NOTIFIED:
PLAINFIELD AREA REGIONAL SEWAGE AUTHORITY
200 CLAY AVENUE
MIDDLETOWN, NJ 08846

G:\2021\21001\1\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\J201001-COVR-1A...LA\OUT_C-101_COVR



T.B.R. = FEATURE TO BE REMOVED

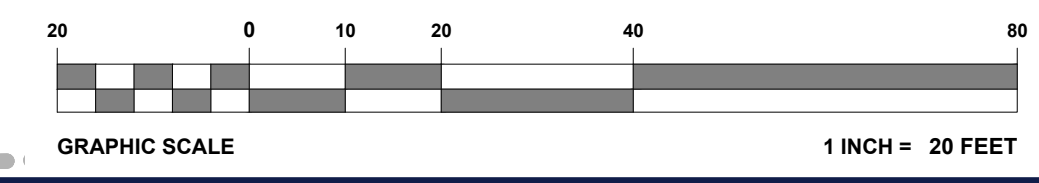
ALL EXISTING FEATURES IN R.O.W. ARE TO REMAIN UNLESS OTHERWISE NOTED

THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY

ALL EXISTING ON-SITE FEATURES WITHIN THE PROPERTY LINE ARE TO BE REMOVED UNLESS OTHERWISE NOTED. ALL EXISTING FEATURES OUTSIDE THE PROPERTY LINE ARE TO REMAIN UNLESS OTHERWISE NOTED.

REFER TO SOIL EROSION AND SEDIMENT CONTROL PLAN FOR SOIL EROSION NOTES AND MEASURES.

REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.



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 CAD ID: J201001-SITE-1A

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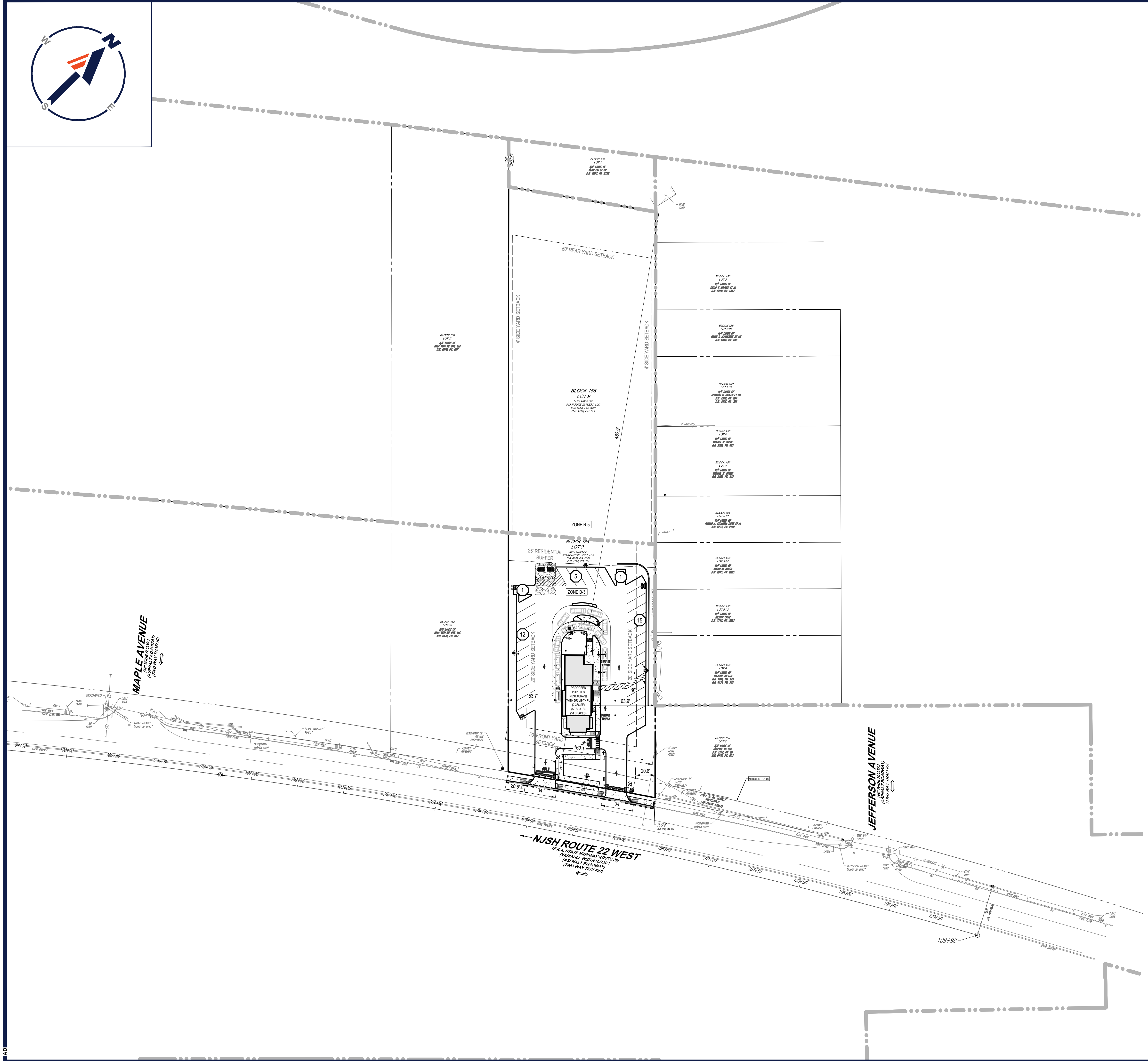
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WITH DRIVE-THRU
BLK: 158 | LOT: 9
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SHEET TITLE:
DEMOLITION PLAN
SHEET NUMBER:
C-201
REVISION 1 - 08/31/2021

G:\2021\201001\CADD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\201001-SITE-1A-LAYOUT-C-201.DWG



ZONING TABLE			
ZONE: B-3 (BUSINESS ZONE)			
USE: RESTAURANT WITH DRIVE THRU (NOT PERMITTED) (V)			
BLOCK: 158 LOT: 9			
APPLICANT/ OWNER INFORMATION			
APPLICANT:	933 ROUTE 22 WEST, LLC		
BULK REQUIREMENTS (§22-110.2)			
ITEM	PERMITTED	EXISTING	PROPOSED
MIN. LOT WIDTH	150'	160.1'	160.1'
MIN. FRONT YARD	50'	54.0'	50'
MIN. SIDE YARD	20'	36.7'	53.7'
MIN. REAR YARD	50'	436.5'	482.9'
MAX. BUILDING HEIGHT	35' / 2 STORIES	1 STORY	1 STORY / 21'-10"
KEY =		(V) = VARIANCE REQUIRED	

PARKING REQUIREMENTS		
ITEM	PERMITTED	PROPOSED
MIN. STALL SIZE	9' X 18'	9' X 18'
MIN. AISLE WIDTH	18' (60° ANGLE PARKING)	18'
MIN. ACCESS DRIVE	12' ONE-WAY 24' TWO-WAY	18'
MIN. NUMBER OF STALLS	17 STALLS	34 STALLS
RESTAURANT WITH DRIVE-THRU (§22-117.2.b.5); RESTAURANT - ONE SPACE FOR EACH THREE SEATS DEVOTED TO SERVICES = 1 SPACE / 3 SEATS X 50 SEATS = 16.67 SPACES = 17 SPACES		
PARKING AREAS AND ACCESS DRIVES SHALL BE ENCLOSED BY CONCRETE OR BELGIAN BLOCK CURBING AND SHALL BE CONSTRUCTED WITH A CONCRETE OR A BITUMINOUS CONCRETE SURFACE AND, UNLESS OTHERWISE REQUIRED BY THIS CHAPTER, SHALL BE LOCATED FIVE FEET FROM ANY PROPERTY LINE OR STRUCTURAL WALL OF A BUILDING (§117.5.i)		
KEY =		(V) = VARIANCE REQUIRED

BUFFER REQUIREMENTS (§22-115.28)		
THE BUFFER AREA SHALL BE EQUAL IN WIDTH TO 10% OF THE LOT DEPTH; PROVIDED, HOWEVER, IT SHALL NOT BE REQUIRED TO BE GREATER THAN 25 FEET IN WIDTH (§22-115.28)		
BUFFER AREA = 10% X LOT DEPTH = 10% X 619.6' = 61.96' > 25'		
BUFFER AREA = 25'		
THE OFF-STREET PARKING AREA SHALL BE EFFECTIVELY SCREENED ON ANY SIDE WHICH ADJOINS OR FACES PREMISES SITUATED IN ANY RESIDENTIAL ZONES, BY A FENCE OR WALL NOT LESS THAN 4 FT NOR MORE THAN 6 FT IN HEIGHT, MAINTAINED IN GOOD CONDITION. (§22-117.5.i)		
KEY =		(V) = VARIANCE REQUIRED

FREESTANDING SIGNS (§22.119.6)		
ITEM	PERMITTED	PROPOSED
MAX. NUMBER OF SIGNS	1*	1
MAX. SIGN AREA	130 SF	54.66 SF
MIN. SIGN SETBACK	20' (ROUTE 22) 10' (SIDE OR REAR) 40' (RESIDENTIAL ZONE)	20' (ROUTE 22) 20.60' (SIDE)
MAX. HEIGHT ABOVE GROUND	30'	17'
*ONE ON-SITE OR OFF-SITE FREESTANDING SIGN SHALL BE PERMITTED ON A LOT, AT A SHOPPING CENTER OR AT A MALL, EXCEPT AS PROVIDED HEREIN		
NO FREESTANDING SIGN SHALL BE PERMITTED ON ANY LOT THAT HAS A STREET FRONTAGE OF LESS THAN 10 FEET		

WALL SIGNS (§22.119)		
ITEM	PERMITTED	PROPOSED
MAX. NUMBER OF SIGNS	4*	4
MAX. SIGN AREA	150 SF**	38.75 SF (FRONT) 102.28 SF (SIDE) 7.07 SF (SIDE) 7.07 SF (SIDE) 154.97 SF (TOTAL)
*EACH BUSINESS IS PERMITTED WITH ONE ON-SITE WALL SIGN FOR EACH ENTRANCE OPEN TO THE PUBLIC, PROVIDED THAT ONLY ONE WALL SIGN PER BUSINESS IS PERMITTED ON A WALL AND FURTHER PROVIDED THAT NO MORE THAN FOUR WALL SIGNS PER BUSINESS SHALL BE PERMITTED ON A BUILDING.		
**THE DISPLAY SURFACE AREA SHALL NOT EXCEED ONE SQUARE FOOT FOR EACH LINEAR FOOT OF WALL LENGTH UPON WHICH THE SIGN IS ATTACHED, UP TO A MAXIMUM DISPLAY SURFACE AREA OF 150 SQUARE FEET. PROVIDED, HOWEVER, THAT THE AREA OF WALL SIGNS PERMITTED ON A FACADE NOT HAVING A PUBLIC ENTRANCE BY PARAGRAPH C1 ABOVE SHALL NOT BE LIMITED TO THE AREA PERMITTED BY THIS PARAGRAPH, OR TO THE AREA PERMITTED FOR A WALL SIGN ON THE SMALLEST FACADE HAVING SUCH AN ENTRANCE, WHICHEVER IS LESS.		

DIRECTIONAL SIGNS (§22.119.3.C)		
ITEM	PERMITTED	PROPOSED
MAX. NUMBER OF SIGNS	2*	4 (V)
MAX. SIGN AREA	4 SF**	3.12 SF
MAX. HEIGHT ABOVE GRADE	42" **	42"
*ONE DIRECTIONAL SIGN SHALL BE PERMITTED AT EACH ENTRANCE OR EXIT ON A LOT OR PARCEL TO IDENTIFY SAID ENTRANCE OR EXIT.		
**SUCH SIGNS SHALL NOT HAVE A DISPLAY SURFACE AREA THAT EXCEEDS FOUR SQUARE FEET AND SHALL BE LIMITED IN HEIGHT TO 42 INCHES ABOVE NORMAL GRADE.		
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PROJECT No.: J201001
DRAWN BY: AMD
DATE: 08/29/2021
CAD ID: J201001-SITE-1A

PRELIMINARY & FINAL SITE PLAN

FOR

933 ROUTE 22 WEST, LLC

PROPOSED
POPEYES RESTAURANT WITH DRIVE-THRU
BLK: 158 | LOT: 9
933 N.J.S.H. ROUTE 22 WEST
BOROUGH OF NORTH PLAINFIELD
SOMERSET COUNTY, NEW JERSEY

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CONNECTICUT LICENSE No. 30024
PENNSYLVANIA LICENSE No. 76746

SHEET TITLE:
OVERALL SITE LAYOUT PLAN

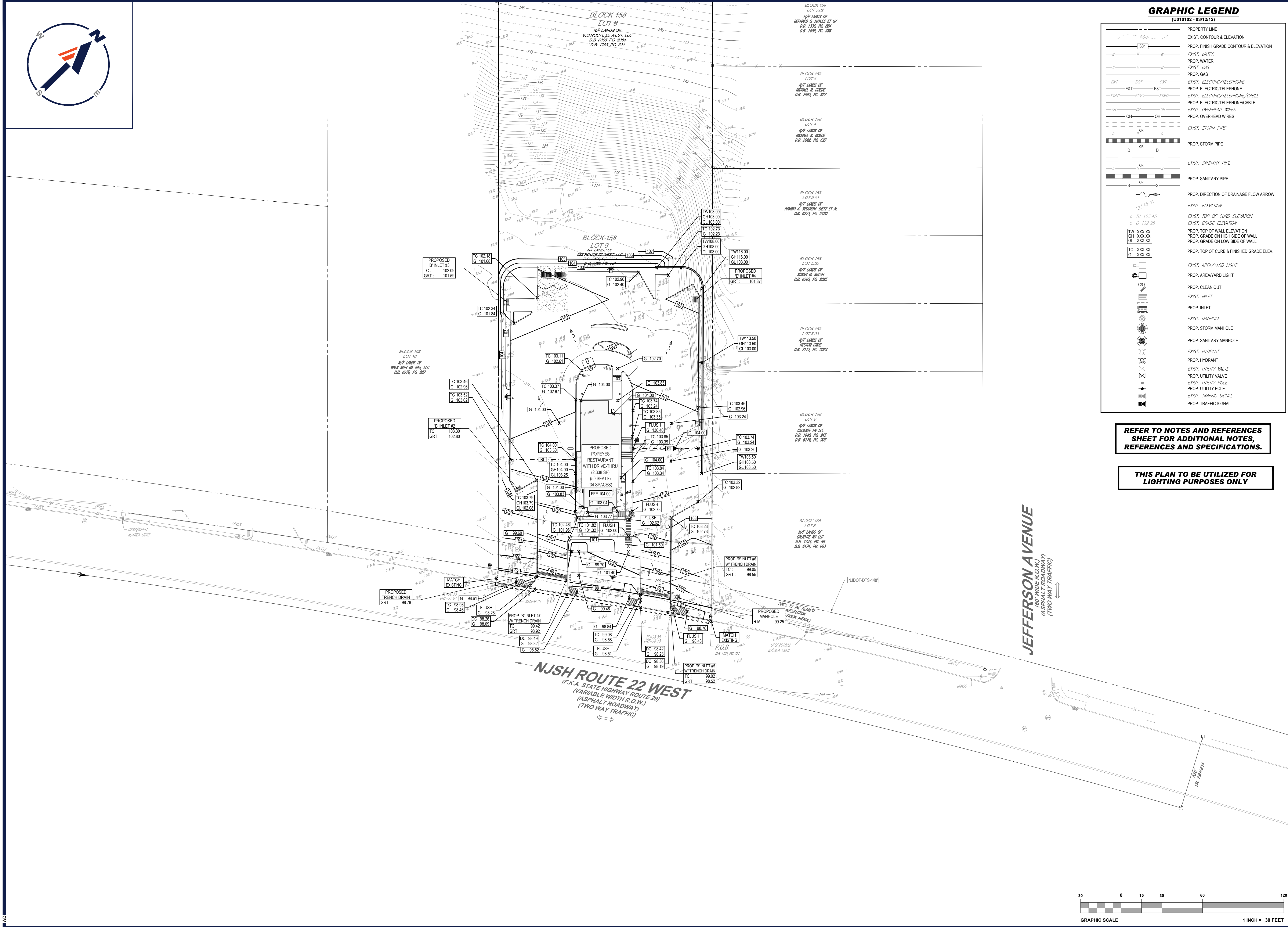
SHEET NUMBER:
C-301

REVISION 1 - 08/31/2021

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

GRAPHIC SCALE: 1 INCH = 50 FEET

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GRAPHIC LEGEND

	PROPERTY LINE
	EXIST. CONTOUR & ELEVATION
	PROP. FINISH GRADE CONTOUR & ELEVATION
	EXIST. WATER
	PROP. WATER
	EXIST. GAS
	PROP. GAS
	EXIST. ELECTRIC/TELEPHONE
	PROP. ELECTRIC/TELEPHONE
	EXIST. ELECTRIC/TELEPHONE/CABLE
	PROP. ELECTRIC/TELEPHONE/CABLE
	EXIST. OVERHEAD WIRES
	PROP. OVERHEAD WIRES
	EXIST. STORM PIPE
	PROP. STORM PIPE
	EXIST. SANITARY PIPE
	PROP. SANITARY PIPE
	PROP. DIRECTION OF DRAINAGE FLOW ARROW
	EXIST. ELEVATION
	EXIST. TOP OF CURB ELEVATION
	EXIST. GRADE ELEVATION
	PROP. TOP OF WALL ELEVATION
	PROP. GRADE ON HIGH SIDE OF WALL
	PROP. GRADE ON LOW SIDE OF WALL
	PROP. TOP OF CURB & FINISHED GRADE ELEV.
	EXIST. AREA/YARD LIGHT
	PROP. AREA/YARD LIGHT
	EXIST. CLEAN OUT
	PROP. CLEAN OUT
	EXIST. INLET
	PROP. INLET
	EXIST. MANHOLE
	PROP. STORM MANHOLE
	PROP. SANITARY MANHOLE
	EXIST. HYDRANT
	PROP. HYDRANT
	EXIST. UTILITY VALVE
	PROP. UTILITY VALVE
	EXIST. UTILITY POLE
	PROP. UTILITY POLE
	EXIST. TRAFFIC SIGNAL
	PROP. TRAFFIC SIGNAL

REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY

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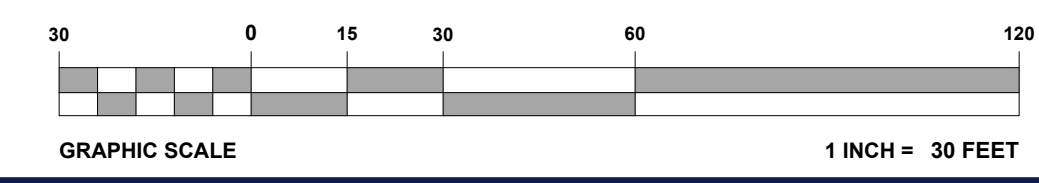
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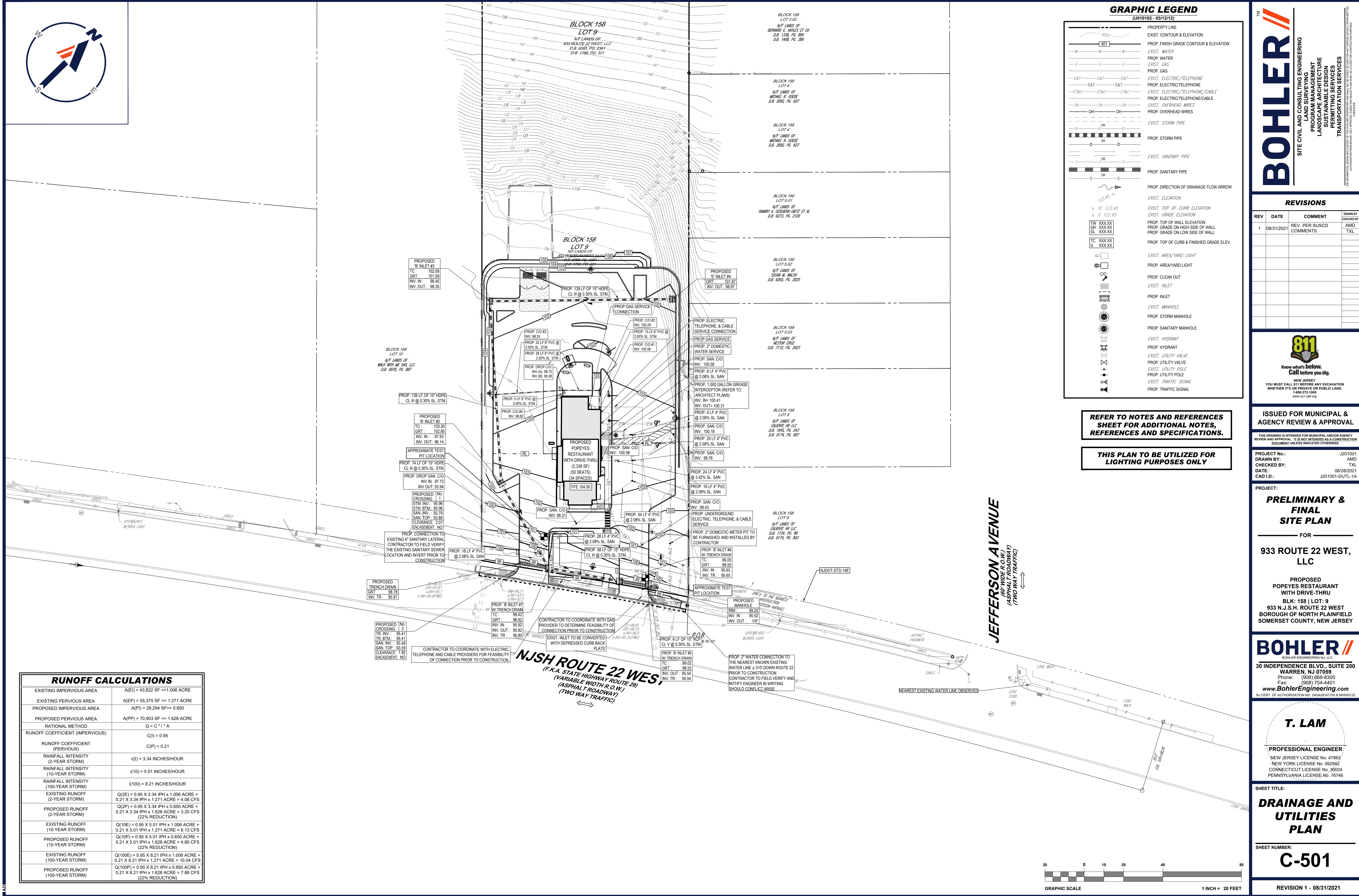
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SHEET TITLE:
GRADING PLAN
 SHEET NUMBER:
C-401
 REVISION 1 - 08/31/2021



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GRAPHIC LEGEND

Symbol	Description
---	PROPERTY LINE
---	EXIST. CONTOUR & ELEVATION
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---	PROP. TRAFFIC SIGNAL

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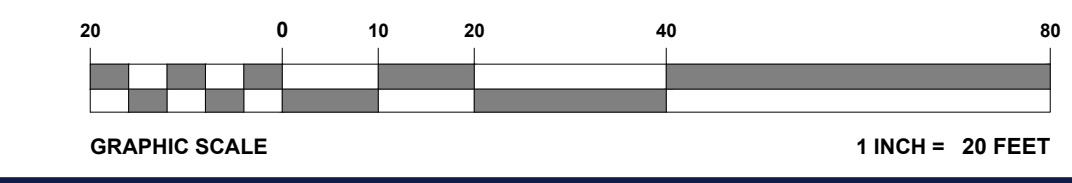
DRAINAGE AND UTILITIES PLAN

SHEET NUMBER:
C-501

REVISION 1 - 08/31/2021

RUNOFF CALCULATIONS

EXISTING IMPERVIOUS AREA	A(EI) = 43,822 SF => 1.006 ACRE
EXISTING PERVIOUS AREA	A(EP) = 55,375 SF => 1.271 ACRE
PROPOSED IMPERVIOUS AREA	A(PI) = 28,294 SF => 0.650
PROPOSED PERVIOUS AREA	A(PP) = 70,903 SF => 1.628 ACRE
RATIONAL METHOD	Q = C * I * A
RUNOFF COEFFICIENT (IMPERVIOUS)	C(I) = 0.95
RUNOFF COEFFICIENT (PERVIOUS)	C(P) = 0.21
RAINFALL INTENSITY (2-YEAR STORM)	i(2) = 3.34 INCHES/HOUR
RAINFALL INTENSITY (10-YEAR STORM)	i(10) = 5.01 INCHES/HOUR
RAINFALL INTENSITY (100-YEAR STORM)	i(100) = 8.21 INCHES/HOUR
EXISTING RUNOFF (2-YEAR STORM)	Q(2E) = 0.95 X 3.34 IPH X 1.006 ACRE + 0.21 X 3.34 IPH X 1.271 ACRE = 4.08 CFS
PROPOSED RUNOFF (2-YEAR STORM)	Q(2P) = 0.95 X 3.34 IPH X 0.650 ACRE + 0.21 X 3.34 IPH X 1.628 ACRE = 3.20 CFS (22% REDUCTION)
EXISTING RUNOFF (10-YEAR STORM)	Q(10E) = 0.95 X 5.01 IPH X 1.006 ACRE + 0.21 X 5.01 IPH X 1.271 ACRE = 6.13 CFS
PROPOSED RUNOFF (10-YEAR STORM)	Q(10P) = 0.95 X 5.01 IPH X 0.650 ACRE + 0.21 X 5.01 IPH X 1.628 ACRE = 4.80 CFS (22% REDUCTION)
EXISTING RUNOFF (100-YEAR STORM)	Q(100E) = 0.95 X 8.21 IPH X 1.006 ACRE + 0.21 X 8.21 IPH X 1.271 ACRE = 10.04 CFS
PROPOSED RUNOFF (100-YEAR STORM)	Q(100P) = 0.95 X 8.21 IPH X 0.650 ACRE + 0.21 X 8.21 IPH X 1.628 ACRE = 7.88 CFS (22% REDUCTION)



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LEGEND	
PROPOSED	
	INLET FILTER
	SILT FENCE
	LIMIT OF DISTURBANCE
	CONSTRUCTION ENTRANCE
	TEMPORARY STOCK PILE

SOMERSET COUNTY SCD NOTES

(009915 - 08/24/2020)

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NJ STATE STANDARDS.
3. PERMANENT VEGETATION SHALL BE SEED OR SODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NJ STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 7TH EDITION LAST REVISED JANUARY 2014.
5. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS, IN AREAS WHERE NO UTILITIES ARE PRESENT. THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OF PRELIMINARY GRADING.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO THE NJ STATE STANDARDS.
7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
8. TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 50'X30'X6" PAD OF 1 1/2" OR 2" STONE, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
9. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
10. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT STABILIZATION WILL HAVE TO BE EMPLOYED. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES.
11. IN THAT NJSA 4:24-39 BT SEQ., REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
12. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
13. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT NJ STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.
14. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.
15. MULCHING TO THE NJ STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONALS ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING.
16. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION PROJECT.
17. THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.
18. HYDRO SEEDING IS A TWO-STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY, GOOD SEED TO SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF SEEDING OPERATION, HYDRO-MULCH SHOULD BE APPLIED AT A RATE OF 1500 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDRO-MULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE NJ STANDARDS.

STABILIZATION SPECIFICATIONS TEMPORARY SEEDING AND MULCHING:

- LIME
90 LBS/1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS/1,000 SF; 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4"
- SEEDS
COOL SEASON:
PERENNIAL RYE GRASS: 100 LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1
WARM SEASON:
PEARL MILLET AT 20 LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MAY 15 AND AUGUST 15.
- MULCH
SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF TO BE APPLIED ACCORDING TO THE STATE STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

STABILIZATION SPECIFICATIONS PERMANENT SEEDING:

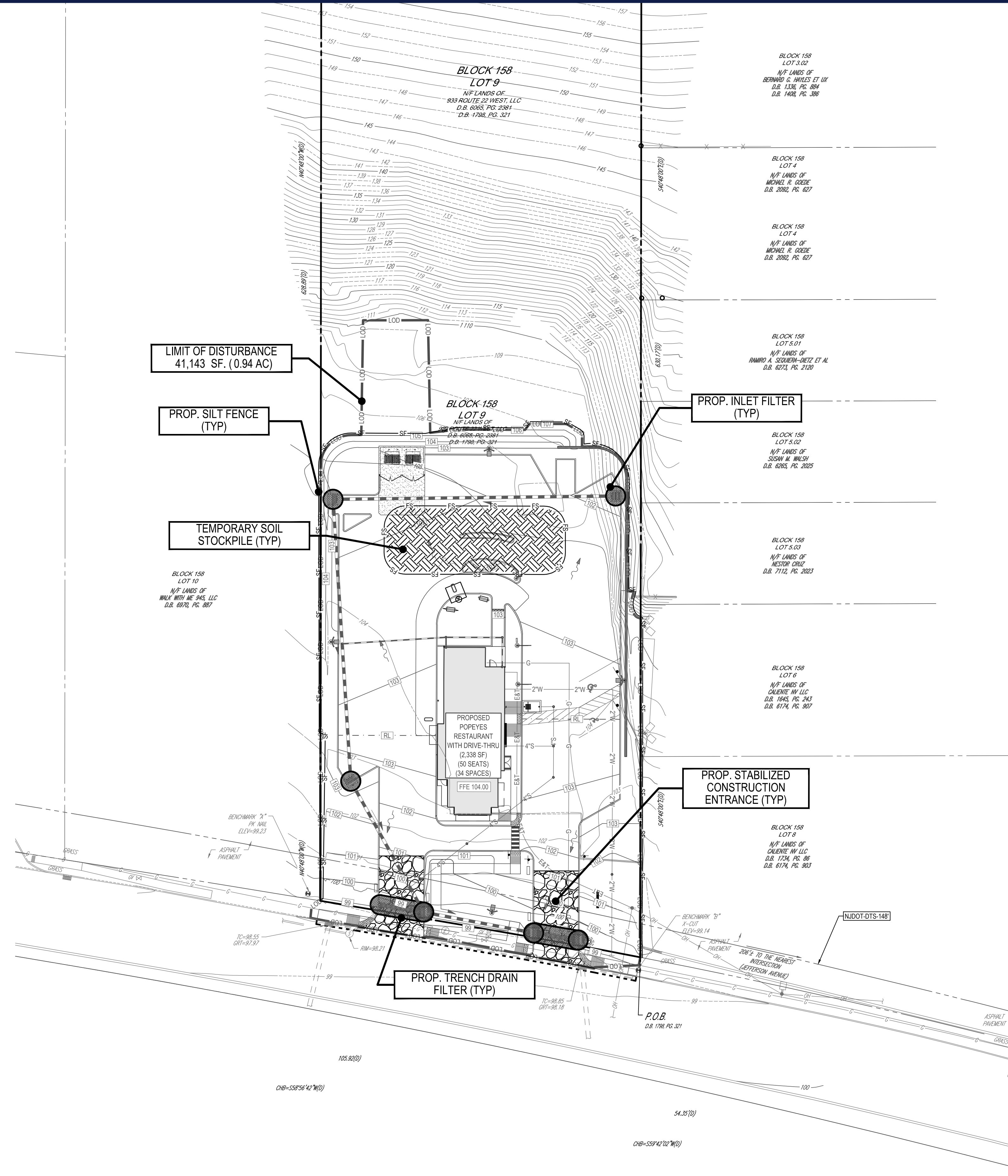
- (SITE SPECIFIC)
- PERMANENT STABILIZATION SPECIFICATIONS:
MULCHING
A. MULCH MATERIALS TO BE UNROTTED SALT HAY, HAY, OR SMALL GRAIN STRAW AT THE RATE OF 1.5 TO 2 TONS/ACRE OR 70 TO 90 LBS/1,000 SQ. FT.
B. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 95% OF SOIL SURFACE WILL BE COVERED.
C. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:
(1) PEG AND TWINE
(2) MULCH NETTING
(3) LIQUID MULCH-BINDERS

MULCH STABILIZATION

- A. UNROTTED SMALL-GRAIN STRAW, OR SALT HAY AT 2.0 TO 2.5 TONS/ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS/1,000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL. LIQUID MULCH BINDERS, OR NETTING THE DOWN, OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
- C. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS/ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.
- D. MULCH NETTING SUCH AS PAPER, JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE USED.
- E. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:
(1) PEG AND TWINE
(2) MULCH NETTING
(3) LIQUID MULCH-BINDERS

SEQUENCE OF CONSTRUCTION:

- PHASE 1: INSTALL STONE ANTI-TRACKING PAD AND OTHER SOIL EROSION SEDIMENT CONTROL MEASURES, INCLUDING SILT FENCING AND INLET FILTERS. (2 DAYS)
- PHASE 2: DEMOLITION OF EXISTING BUILDING(S) AND STRUCTURES AS REQUIRED. MILL EXISTING PAVEMENT TO REMAIN. SAWCUT EXISTING PAVEMENT AT PROPOSED FULL DEPTH SECTIONS. (14 DAYS)
- PHASE 3: EXCAVATE AND INSTALL UNDERGROUND PIPING, DRAINAGE STRUCTURES. (5 DAYS)
- PHASE 4: EXCAVATE AND INSTALL UNDERGROUND UTILITIES. (5 DAYS)
- PHASE 5: EXCAVATE FOR FOUNDATIONS AND CURBS (15 DAYS)
- PHASE 6: COMPLETE BUILDING ADDITIONS CONSTRUCTION AND TENANT OUTFIT. INSTALL PROPOSED CURBING AND CONCRETE PLACEMENT (20 DAYS)
- PHASE 7: FINAL GRADING ON SITE AND PLACEMENT OF 5" OF TOPSOIL IN ALL PROPOSED LANDSCAPE AREAS. (10 DAYS)
- PHASE 8: INSTALL PAVING AND FINAL VEGETATION INCLUDING SEEDING AND LANDSCAPING. (15 DAYS)
- PHASE 9: REMOVAL OF ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES UPON FINAL STABILIZATION OF ALL EXPOSED AREAS CONFIRMED VIA SITE INSPECTION BY CONSERVATION DISTRICT. (1 DAY)



SOIL EROSION & SEDIMENT CONTROL PLAN NOTES (Rev. 1/20/20)

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
2. EROSION CONTROL MEASURES MUST CONFORM TO THE NEW JERSEY GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, UNLESS OTHERWISE NOTED, OR UNLESS ENGINEER CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.
3. THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY 0.94 ACRES.
4. THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:
A. STABILIZED CONSTRUCTION ENTRANCE/EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE.
B. SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE. TEMPORARY FILL AND SOIL STOCKPILES.
C. INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON INLET'S DOWNSLOPE FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA.
D. INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.
5. THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6" COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION.
6. THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
7. THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF ENGINEER SO REQUIRES, TO PREVENT ANY, INCLUDING THE INCIDENTAL, DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
8. THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURFLANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS.
9. THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION.
10. THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION.
11. THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES, MEASURES AND STRUCTURES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
12. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE AND/OR DEMOLITION PLANS FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.
13. THE CONTRACTOR MUST REFER TO GRADEPLANS FOR ADDITIONAL INFORMATION.
14. THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT.
15. SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES.
16. THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED.
17. THE CONTRACTOR MUST PERFORM DEWATERING (IF REQUIRED), IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME.
18. THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER. THE CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. THE CONTRACTOR MUST MAINTAIN SPILL PREVENTION & RESPONSE EQUIPMENT AND MAKE SAME CONTINUOUSLY AVAILABLE ON-SITE FOR USE BY THE CONTRACTOR'S EMPLOYEES WHO MUST BE PROPERLY TRAINED IN THE APPLICATION OF SPILL PREVENTION & RESPONSE PROCEDURES.

SESC COMPACTION NOTE

THE SUBJECT SITE IS LOCATED IN PLANNING AREA-1 AND IS DEVELOPED UNDER EXISTING CONDITIONS. BASED ON THE NEW JERSEY DEPARTMENT OF AGRICULTURE STATE SOIL CONSERVATION COMMITTEE TECHNICAL BULLETIN, EFFECTIVE MARCH 2016, THE SOIL COMPACTION REQUIREMENTS ARE NOT APPLICABLE.

PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	PER. REV. SUSCD	CHKD BY
1	08/31/2021	REV. PER SUSCD COMMENTS	AMD	TXL

NEW JERSEY
YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-272-1000
www.nj-811.org

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	J201001
DRAWN BY:	AMD
CHECKED BY:	TXL
DATE:	08/28/2021
CAD ID:	J201001-SESS-1A

PRELIMINARY & FINAL SITE PLAN

FOR

933 ROUTE 22 WEST, LLC

PROPOSED
POPEYES RESTAURANT
WITH DRIVE-THRU
BLK: 158 | LOT: 9
933 N.J.S.H. ROUTE 22 WEST
BOROUGH OF NORTH PLAINFIELD
SOMERSET COUNTY, NEW JERSEY

BOHLER ENGINEERING NJ, LLC
30 INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059
Phone: (908) 685-6300
Fax: (908) 754-4401
www.BohlerEngineering.com
NJ CERT. OF AUTHORIZATION NO. 246A28191700 & M6000122

T. LAM

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 47863
NEW YORK LICENSE No. 092942
CONNECTICUT LICENSE No. 30024
PENNSYLVANIA LICENSE No. 76748

SHEET TITLE:

SOIL EROSION & SEDIMENT CONTROL PLAN

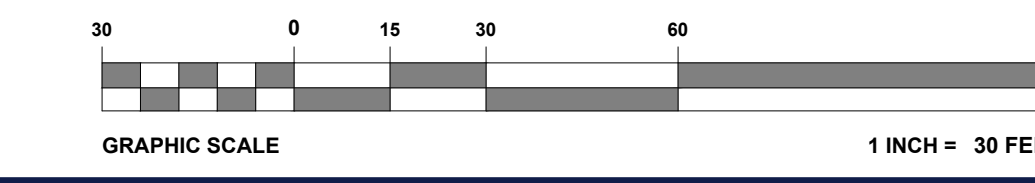
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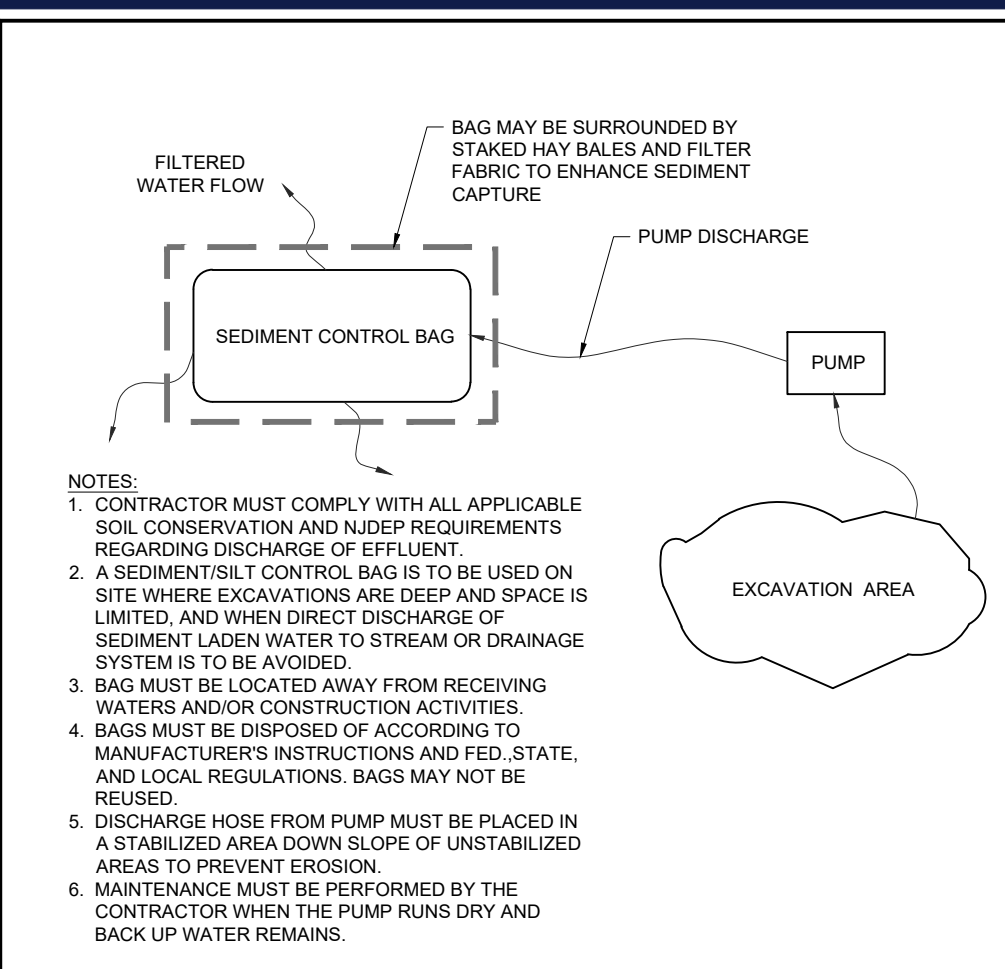
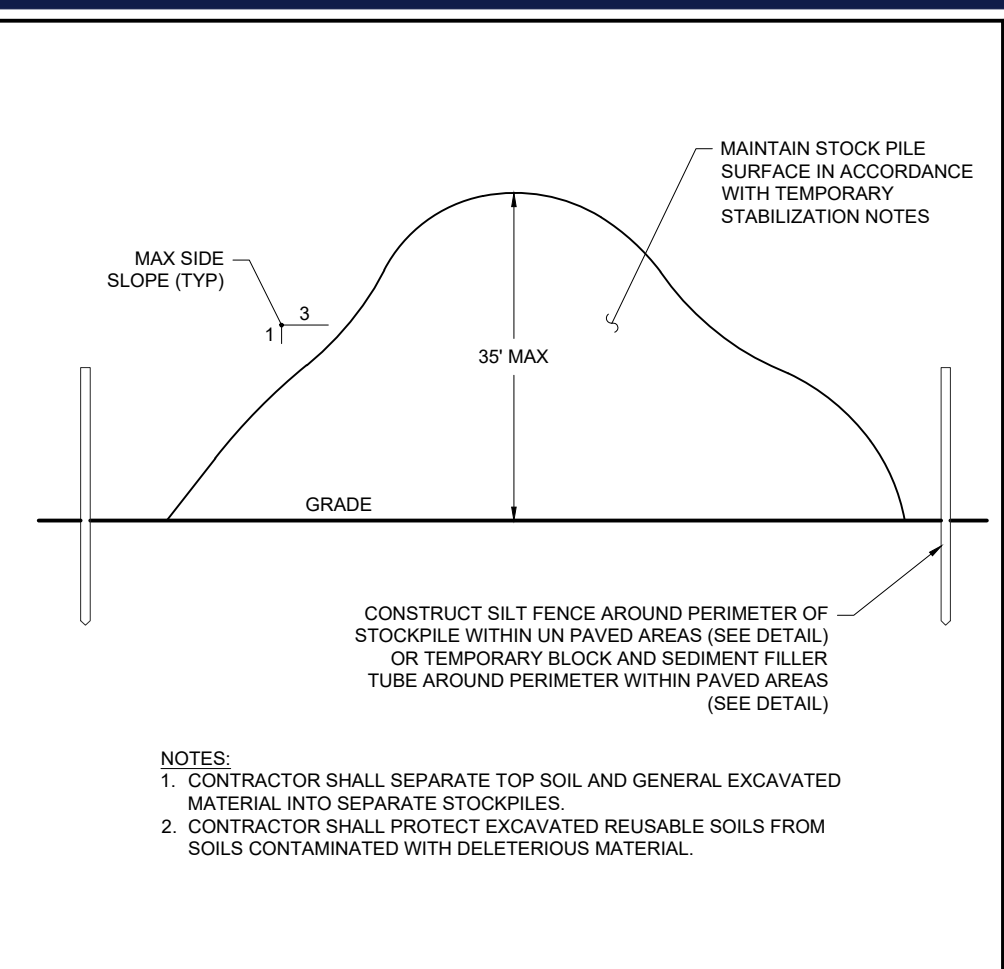
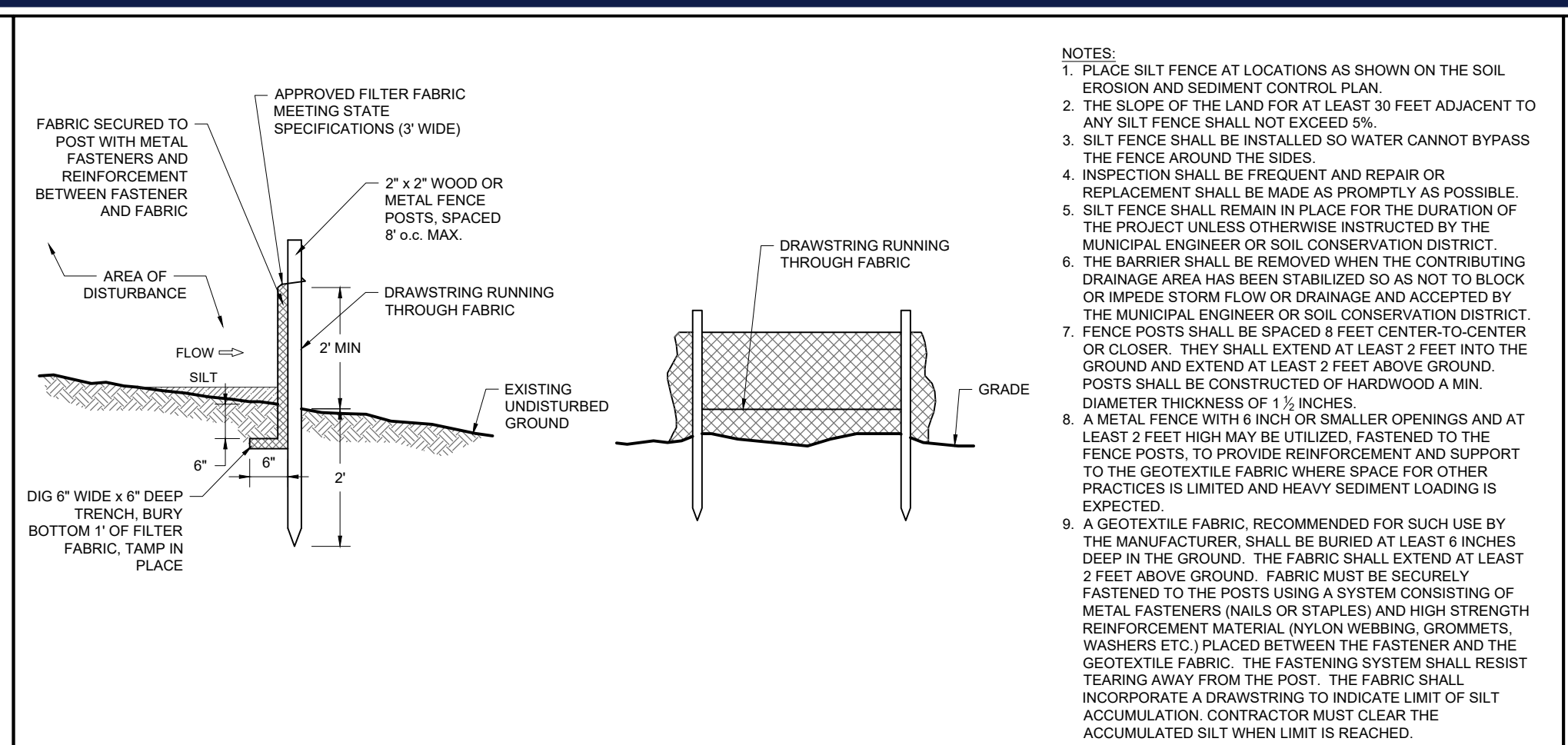
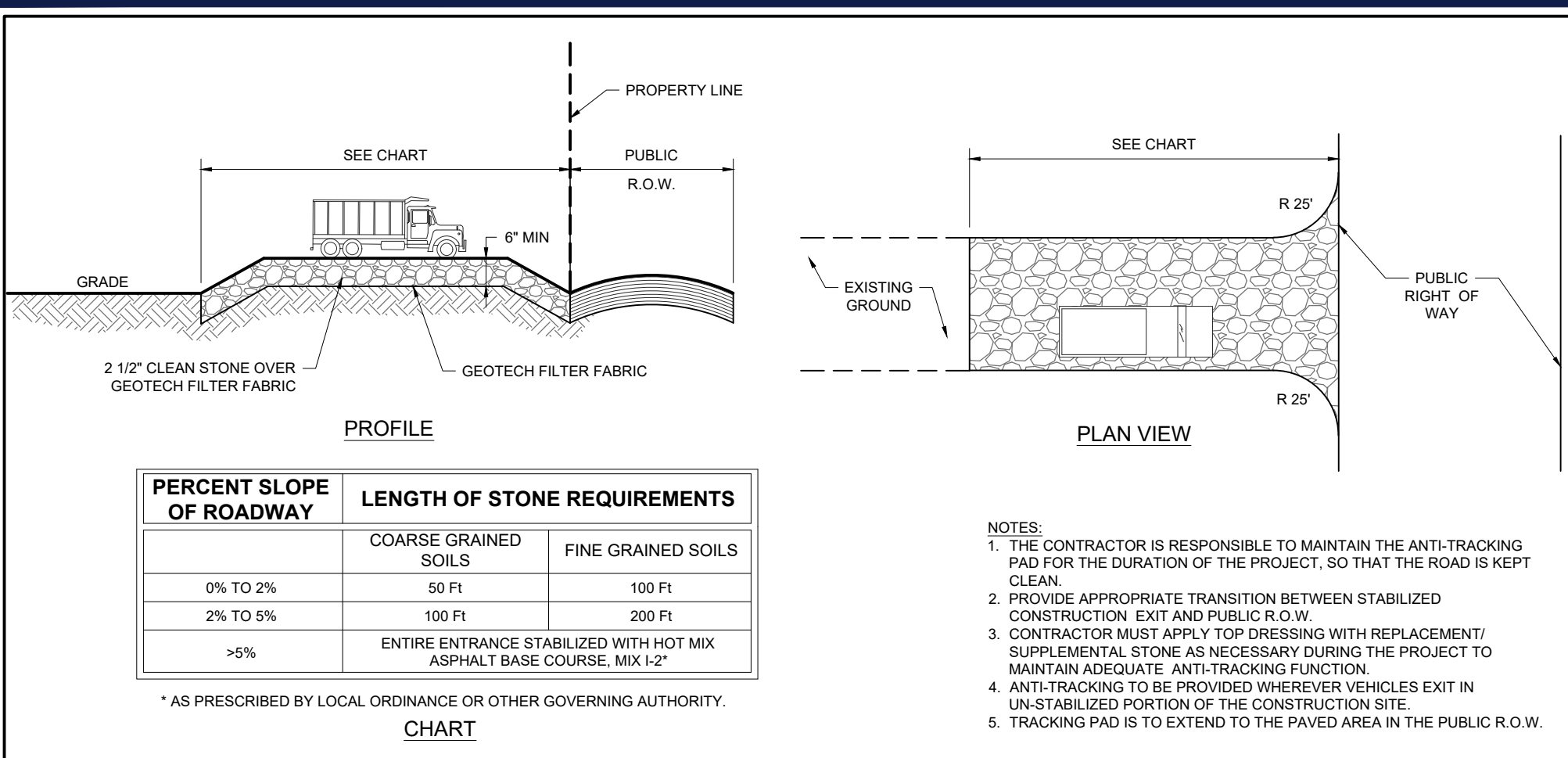
REVISION 1 - 08/31/2021

LIMIT OF DISTURBANCE LINE HAS BEEN OFFSET FOR GRAPHICAL PURPOSES. ACTUAL LIMIT OF DISTURBANCE WILL OCCUR AT THE SILT FENCE OR LIMIT OF GRADING.

THIS PLAN TO BE UTILIZED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY



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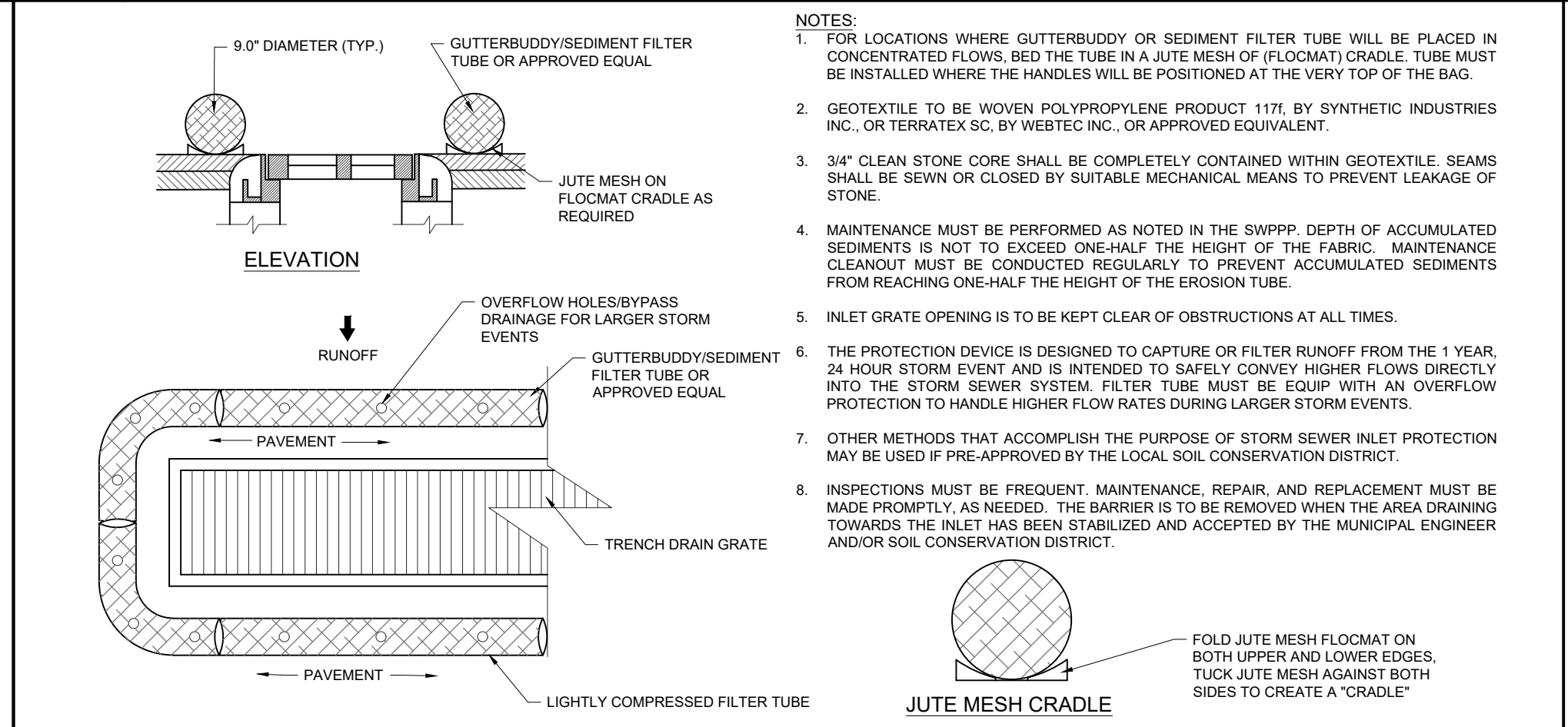
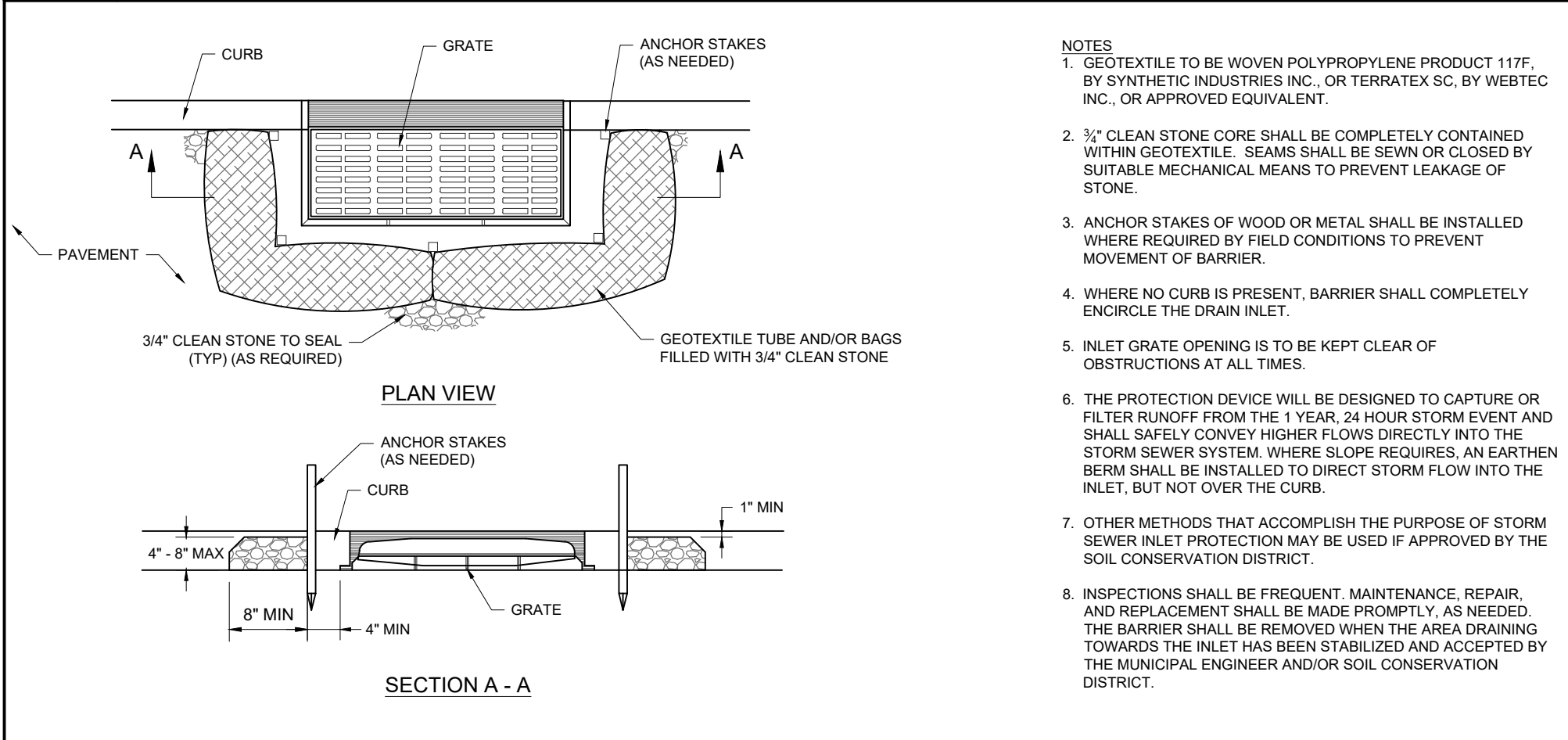


1 STABILIZED CONSTRUCTION EXIT/ACCESS & ANTI-TRACKING PAD DETAIL
NOT TO SCALE (O029901 - 08/2017)

2 SILT FENCE DETAIL
NOT TO SCALE (O039902 - 1/2017)

3 TEMPORARY SOIL STOCKPILE DETAIL
NOT TO SCALE (O079901 - 1/2017)

4 NJ SCD SEDIMENT CONTROL BAG FOR DEWATERING DETAIL
NOT TO SCALE (O089906-08/2016)



5 INLET FILTER / GEOTEXTILE TUBES DETAIL
NOT TO SCALE (O049901-01/2013)

6 TRENCH DRAIN FILTER DETAIL
NOT TO SCALE (O049904 - 1/2017)

DEFINITION
THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADS

PURPOSE
TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON- AND OFF-SITE DAMAGE AND HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY.

CONDITION WHERE PRACTICE APPLIES
THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON-SITE AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. CONSULT WITH LOCAL MUNICIPAL ORDINANCES ON ANY RESTRICTIONS.

WATER QUALITY ENHANCEMENT
SEDIMENTS DEPOSITED AS "DUST" ARE OFTEN FINE COLLOIDAL MATERIAL WHICH IS EXTREMELY DIFFICULT TO REMOVE FROM WATER ONCE IT BECOMES SUSPENDED. USE OF THIS STANDARD WILL HELP TO CONTROL THE GENERATION OF DUST FROM CONSTRUCTION SITES AND SUBSEQUENT BLOWING AND DEPOSITION INTO LOCAL SURFACE WATER RESOURCES.

PLANNING CRITERIA
THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

- MULCHES - SEE STANDARDS FOR STABILIZATION WITH MULCHES ONLY
- VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, AND PERMANENT STABILIZATION WITH SOD.
- SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MOCK SOILS), KEEP TRAFFIC OFF THESE AREAS.

	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1,200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD.		
POLYACRYLAMIDE (PAM) - DRY SPREAD			
ACIDULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1,200

TILLAGE: TO ROUGHEN THE SURFACE AND BRING THE CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARRROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING: SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS: SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE: SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.

STONE: COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

7 NJSCD STANDARD FOR DUST CONTROL
NOT TO SCALE (O99916 - 2/2016)

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	08/31/2021	REV. PER SUSCD COMMENTS	AMD	TXL

811
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PROJECT No.: J201001
DRAWN BY: AMD
CHECKED BY: TXL
DATE: 08/29/2021
CAD ID: J201001-COVR-1A

PRELIMINARY & FINAL SITE PLAN

FOR

933 ROUTE 22 WEST, LLC

PROPOSED
POPEYES RESTAURANT
WITH DRIVE-THRU
BLK: 158 | LOT: 9
933 N.J.S.H. ROUTE 22 WEST
BOROUGH OF NORTH PLAINFIELD
SOMERSET COUNTY, NEW JERSEY

BOHLER
BOHLER ENGINEERING NJ, LLC
30 INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059
Phone: (908) 685-6300
Fax: (908) 764-4401
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NJ CERT. OF AUTHORIZATION NO. 24GA28191700 & MH000122

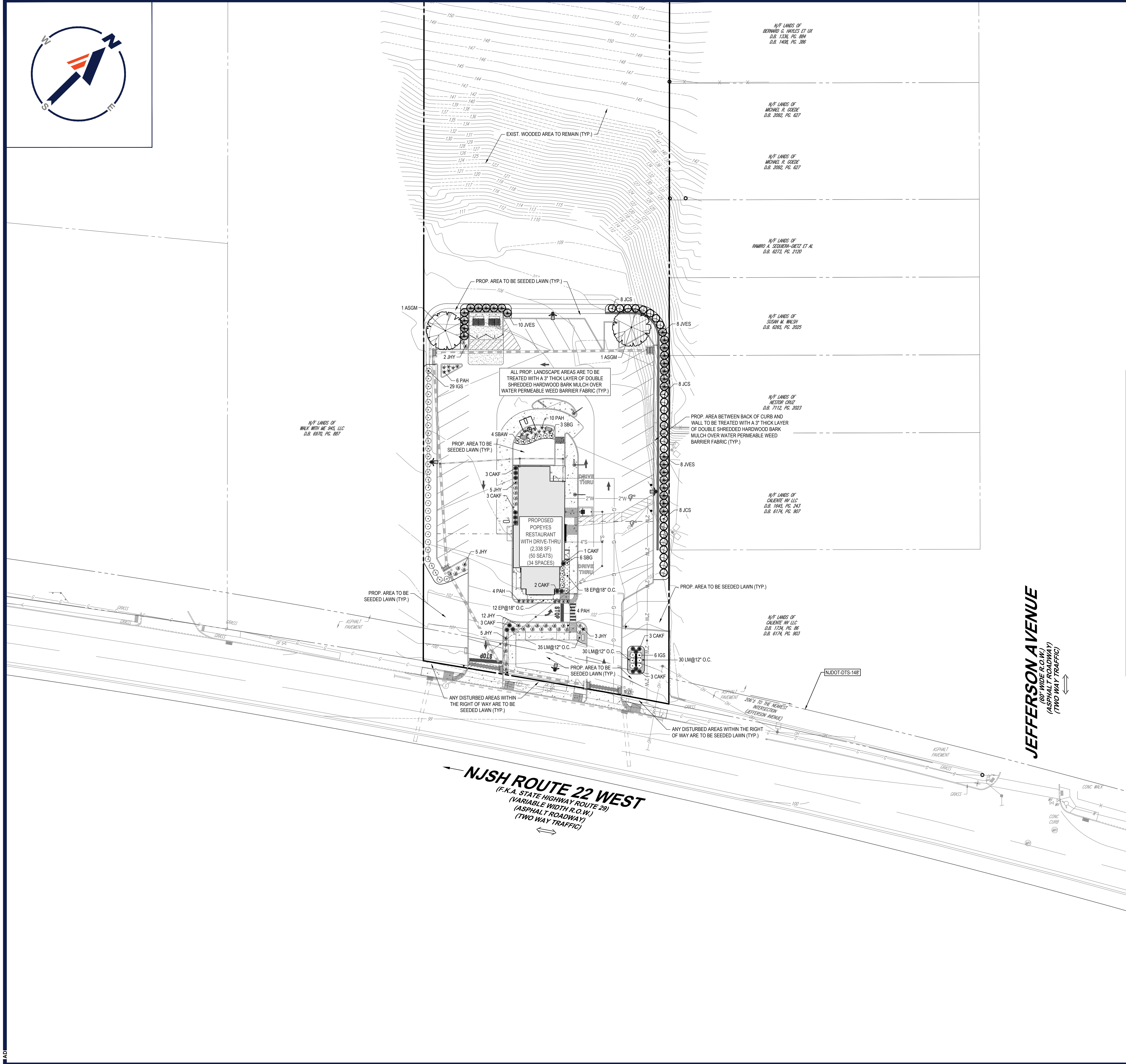
T. LAM
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 47862
NEW YORK LICENSE No. 092942
CONNECTICUT LICENSE No. 30024
PENNSYLVANIA LICENSE No. 76748

SHEET TITLE:
SOIL EROSION & SEDIMENT CONTROL DETAILS

SHEET NUMBER:
C-602

REVISION 1 - 08/31/2021

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COMPLIANCE CHART			
SECTION	REQUIREMENT	CALCULATIONS	COMPLIANCE
CHAPTER 2. ARTICLE III. 2-28.8. LANDSCAPING AND DEVELOPMENT.	F. THE TOTAL NUMBER, BY SPECIES OF TREES WITH A DBH OF FOUR INCHES OR GREATER WHICH ARE TO BE REMOVED.	EXISTING TREES ARE TO REMAIN.	NOT APPLICABLE
CHAPTER 22. ARTICLE VII. 22-79. STANDARD REQUIRED IMPROVEMENTS.	K. SHADE TREES. SHADE TREES WHERE REQUIRED BY THE APPROVING AUTHORITY, TWO NEW SHADE TREES SHALL BE INSTALLED ON EACH LOT ON THE OWNER'S PROPERTY SO AS NOT TO INTERFERE WITH UTILITIES, ROADWAYS OR WALKWAYS AND SIDEWALKS. TREES SHALL BE TWO INCHES OR MORE IN DIAMETER, EIGHT FEET OR MORE IN HEIGHT AND OF THE FOLLOWING TYPES, BUT NOT LIMITED TO: EVERGREEN OR SILVER LINDEN, LONDON OR ORIENTAL PLANE, NORWAY, SCHWEDLER'S OR SUGAR MAPLE, CHESTNUT, RED, PIN, BLACK OR SCARLET OAK.	TWO (2) TREES WITH A MINIMUM CALIPER OF 2.5 INCHES HAVE BEEN PROPOSED ON SITE.	COMPLIES
CHAPTER 22. ARTICLE VII. 22-82.7. SCREENING.	LANDSCAPING AND/OR FENCING SHALL BE PROVIDED AROUND ANY OUTDOOR RECYCLING AREA AND SHALL BE DEVELOPED IN AN AESTHETICALLY PLEASING MANNER.	AN EVERGREEN SCREEN HAS BEEN PROPOSED AROUND THE PROPOSED TRASH ENCLOSURE.	COMPLIES
CHAPTER 22. ARTICLE VIII. 22-115.28. BUFFER AREAS IN BUSINESS ZONE.	A. A BUFFER AREA SHALL BE LOCATED ALONG ANY COMMON BOUNDARY BETWEEN A BUSINESS ZONE DISTRICT AND A RESIDENTIAL ZONE DISTRICT. THE BUFFER AREA SHALL BE EQUAL IN WIDTH TO 10% OF THE LOT DEPTH. PROVIDED, HOWEVER, IT SHALL NOT BE REQUIRED TO BE GREATER THAN 25 FEET IN WIDTH. THE USE OF NATIVE VEGETATION IS ENCOURAGED TO BE THE FIRST CHOICE AS A METHOD OF SCREENING PRIOR TO ANY OTHER MATERIAL OR METHODS. BUFFER AREAS ARE ALLOWED TO BE USED BY STORMWATER MANAGEMENT BY DISCONNECTING IMPERVIOUS SURFACES AND TREATING RUNOFF FROM THESE IMPERVIOUS SURFACES.	A BUFFER HAS BEEN PROVIDED ALONG THE EASTERN LINE WHERE THE SITE ADJUTS A RESIDENTIAL ZONE.	COMPLIES
CHAPTER 22. ARTICLE VIII. 22-117.5. REQUIREMENTS FOR ALL OTHER OFF STREET PARKING AND LOADING.	K. ALL PORTIONS OF THE PROPERTY NOT USED FOR OFF-STREET PARKING SHALL BE ATTRACTIVELY LANDSCAPED WITH GRASS LAWNS, TREES AND SHRUBS AS APPROVED BY THE APPROVING AUTHORITY.	LANDSCAPING HAS BEEN PROVIDED THROUGHOUT THE SITE WHERE ALLOWABLE.	COMPLIES

LANDSCAPE SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
SHADE TREE(S)					
ASGM	2	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	2 1/2-3" CAL.	B+B
SUBTOTAL:	2				
EVERGREEN TREE(S)					
JVES	26	JUNIPERUS VIRGINIANA 'EMERALD SENTINEL'	EMERALD SENTINEL EASTERN RED CEDAR	8-10'	B+B
SUBTOTAL:	26				
DECIDUOUS SHRUB(S)					
SBW	4	SPIRAEA X BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	24-30"	CONTAINER
SBG	9	SPIRAEA X BUMALDA 'GOLDFLAME'	GOLD FLAME SPIREA	24-30"	CONTAINER
SUBTOTAL:	13				
EVERGREEN SHRUB(S)					
IGS	35	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	24-30"	CONTAINER
JCS	24	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	8-10'	B+B
JHY	32	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	ANDORRA JUNIPER	18-24" SPRD	CONTAINER
SUBTOTAL:	91				
PERENNIAL(S)					
EP	31	ECHINACEA PURPUREA	PURPLE CONEFLOWER	2 GAL.	CONTAINER
LM	95	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL.	CONTAINER
SUBTOTAL:	126				
ORNAMENTAL GRASS(S)					
CAKF	18	CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL.	CONTAINER
PAH	24	PENNISETUM ALOPEGUROIDES 'HAMELI'	DWARF FOUNTAIN GRASS	2 GAL.	CONTAINER
SUBTOTAL:	42				

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN THE AMOUNT SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN WILL DICTATE.

OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITH VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.

REFER TO LANDSCAPE NOTES & DETAILS SHEET

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY



BOHLER
BOHLER ENGINEERING NJ, LLC

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

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PENNSYLVANIA LICENSE No. 76746

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
C-701

REVISION 1 - 08/31/2021

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LIGHTING NOTES

(Rev. 1/2020)

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- THE LIGHTING CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.
- THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WIRE, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLES FIELD CONDITIONS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDELS (FC).
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO: VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S.
- THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS AS SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER'S AND/OR LIGHTING CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE LIGHTING CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
- THE CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE ENGINEER OF RECORD'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
- THE ACTUAL LIGHTING LEVELS MUST BE VERIFIED IN THE FIELD AND FIXTURES ADJUSTED ACCORDINGLY, BY THE CONTRACTOR, TO ACHIEVE THE APPROVED LIGHT LEVELS.
- ILLUMINATION LEVELS SHOWN ON THE PLAN HAVE BEEN CALCULATED FOR PROPOSED LIGHTS ONLY. ACTUAL ILLUMINATION LEVELS IN THE FIELD MAY DIFFER FROM THOSE DEPICTED ON THE PLAN DUE TO INTERFERENCE FROM EXISTING AMBIENT LIGHTS WHOSE ILLUMINATION LEVELS ARE NOT REFLECTED ON THIS PLAN.
- ILLUMINATION LEVELS SHOWN ON THE PLAN WERE CALCULATED WITH LIGHTING DESIGN SOFTWARE AGI32 BY LIGHTING ANALYST.



GARDCO BY SIGNIFY ECIFORM SERIES SMALL LED AREA LIGHT (A-1 HSS & A-2 HSS)
NOT TO SCALE

LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	MTG. HT.	DESCRIPTION	ARRNGMNT.	LUMENS	LLF	COLOR TEMP.	IES FILENAME	CATALOG #
	2	A-1 HSS	25'	GARDCO BY SIGNIFY ECIFORM SERIES SMALL LED AREA LIGHT W/ HOUSE SIDE SHIELD	SINGLE	15,899	0.900	4000K	ECF-S-48L1A-NW-G2-3-HIS-IES	ECF-S-48L1A-NW-G2-AR-3-XXXX-HIS-BK
	2	A-2 HSS	25'	GARDCO BY SIGNIFY ECIFORM SERIES SMALL LED AREA LIGHT W/ HOUSE SIDE SHIELD	SINGLE	16,372	0.900	4000K	ECF-S-48L1A-NW-G2-4-HIS-IES	ECF-S-48L1A-NW-G2-AR-4-XXXX-HIS-BK

NOTES: 1. ANY EXISTING STREET AND SITE AREA LIGHTS HAVE NOT BEEN MODELED FOR THIS DESIGN.
2. ANY PROPOSED ARCHITECTURAL BUILDING MOUNTED LIGHTS HAVE NOT BEEN MODELED FOR THIS DESIGN.

BOROUGH REQUIREMENTS

PER SECTION: CHAPTER 22 LAND DEVELOPMENT, ARTICLE XIII ARCHITECTURAL DESIGN STANDARDS, §22-138.2(i) DESIGN STANDARDS

LOCATION	REQUIRED	PROPOSED
MINIMUM ILLUMINATION WITHIN PARKING LOTS	0.33 FC	0.6 FC (COMPLIES)



Pole/Bracket

Site and Area Poles
Straight Square Steel

The Gardco SSS Straight Square Steel pole consists of a one-piece square fabricated steel lighting standard. The carbon steel base plate is secured to the shaft with a continuous circumferential weld providing excellent strength and integrity. The poles are finished with an electrostatically applied, thermally cured TGIC polyester powdercoat.

Ordering Guide

Profile	Height	Pole Size	Clamp	Drilling	Finish	Options
SSS	10	4	11	D1 1 Way	BP Bronze Paint	FES Footcandle Output
	12			D2 2 Way	BP Black Paint	WA Weather Drainage
	14			D3 3 Way at 90°	WP White Paint	AHW Additional Hand Hole
	15			D3 3 Way at 90°	MP Medium Grey	F for Footcandle Output and Additional Pole Options. Indicate height above base and coordinate for vertical finish line. See Pole Orientation Information on Page 5.
	18			D4 4 Way	DCY Dark Grey	
	20			T2 2.375" OD Tension X 4" long	GC Galvalume (No Paint)	
	25			T3 3" OD Tension X 9" long	FPV Finished Paint over Galvalume (Specify color)	
	30			T4 4" OD Tension X 9" long	OC Optional Color Paint	
	35			P Plain Top (No Tension)	SC Special Color Paint (Specify RAL designation or color chip)	
	40					

Enter the order code into the appropriate box above. Note: Contractor reserves the right to substitute a configuration. Not all combinations and configurations are valid. Refer to notes below for exclusions and limitations. For questions or concerns, please consult the factory.
1. Standard poles are stock in factory for compatibility with Signify luminaires only. For non-Signify brand luminaires, select the P-rating option.

Anchor Bolts for Gardco SSS Poles, ordered separately:

Pole Type	1/2"NC for coding	Description (to include)
For Pre-ship service (3/8" x 4" per pole)	90400052885	0.75 x 8 x 3.75
For alignment with the pole (3/8" x 4" per pole)	90400052884	1 x 3/8 x 4.5
	90400003284	0.75 x 8 x 3.75
	90400003008	1 x 3/8 x 4

CONTRACTOR TO COORDINATE LIGHT POLE SPECIFICS W/ LIGHT POLE COLOR TO MATCH FIXTURE: BLACK

LIGHT POLE SPECIFICATION
SOURCE: GARDCO BY SIGNIFY

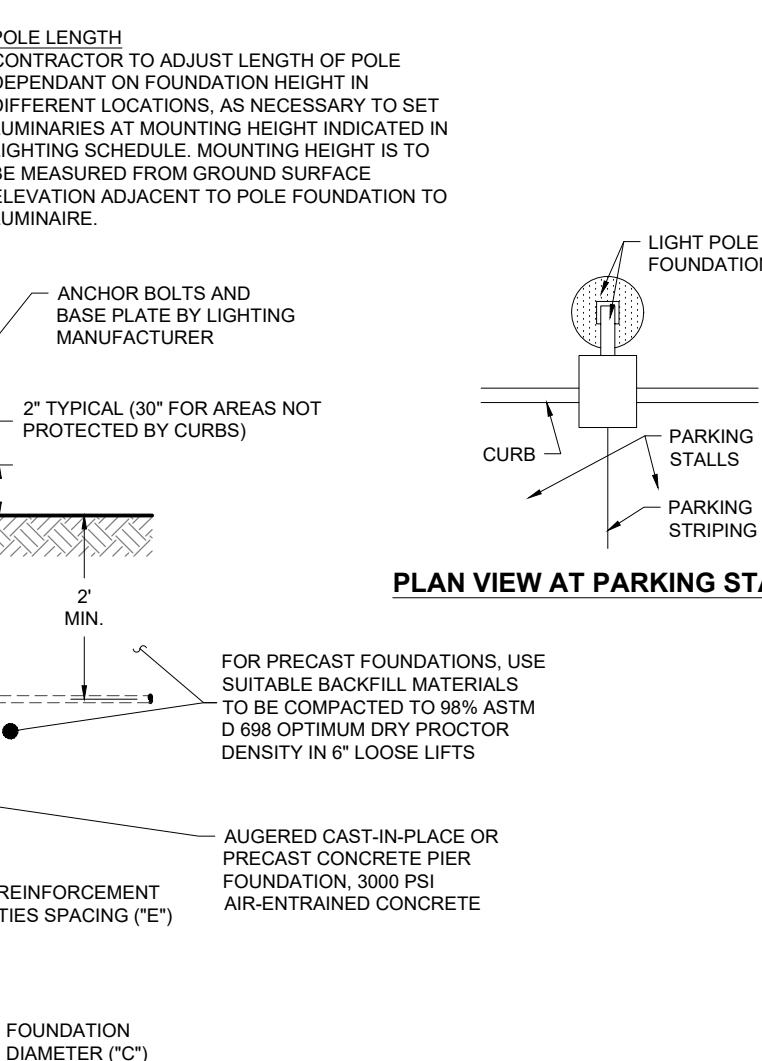
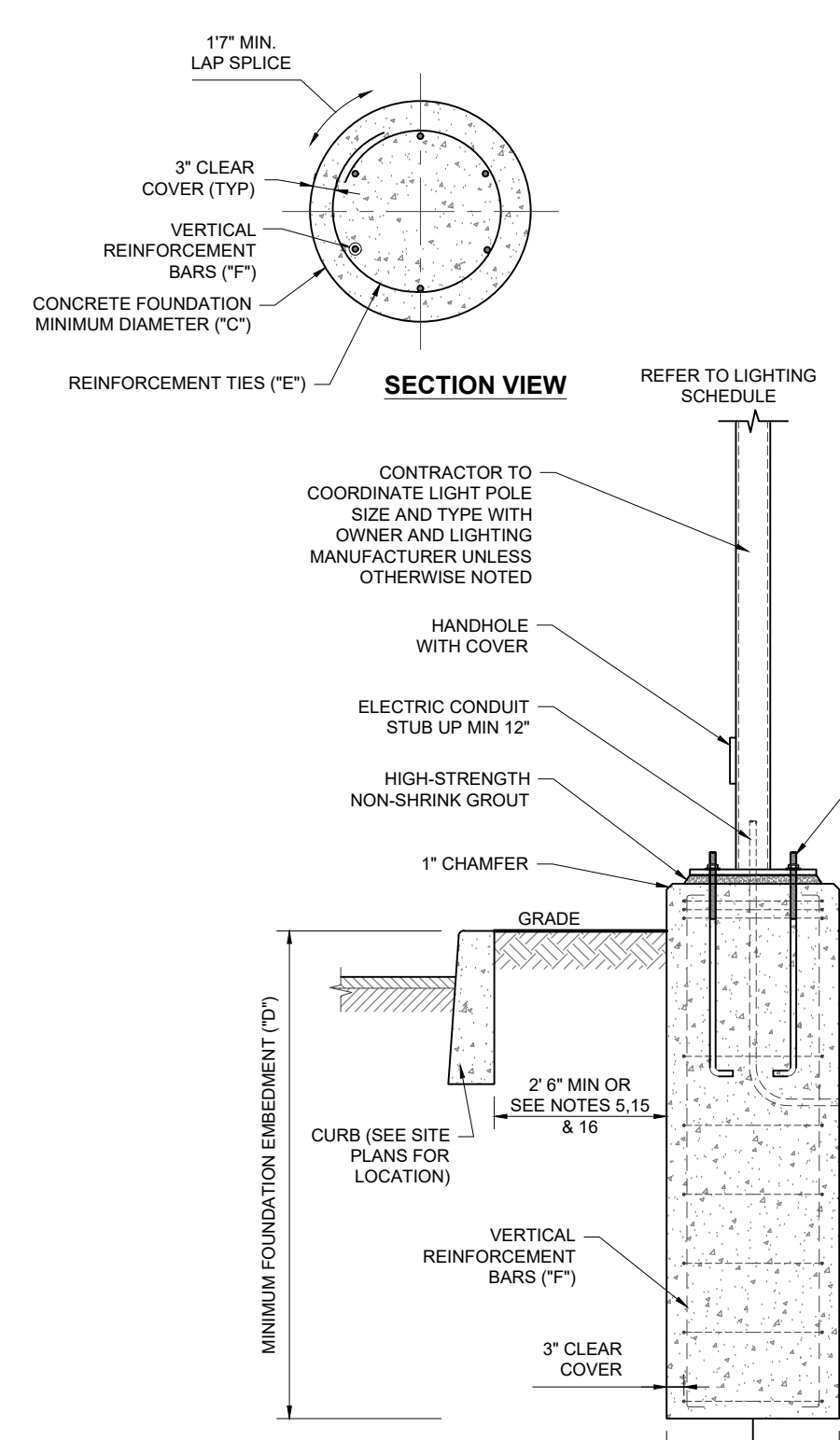
LIGHT POLE FOUNDATION NOTES

- THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND CONDITIONS, COORDINATE WITH ALL CONTRACT DRAWINGS, PROJECT SHOP DRAWINGS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ENSURE NO CONFLICTS ARISE BETWEEN LIGHT POLE FOUNDATIONS, STRUCTURES, AND UTILITIES. IF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DESIGN PLANS ARISE, THE ENGINEER MUST BE NOTIFIED IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS TO HAVE A GEOTECHNICAL ENGINEER, LICENSED IN THE PROJECTS STATE, ON SITE TO INSPECT FULL COMPLETION AND TO VERIFY SUBGRADE ALLOWABLE BEARING CAPACITY AND SOIL DESIGN CRITERIA PRIOR TO CONSTRUCTION IN ACCORDANCE TO THE DESIGN ASSUMPTIONS STATED. UNSUITABLE MATERIALS FOUND MUST BE REMOVED OR BE REMEDIATED AS PER THE DIRECTION OF THE ON SITE GEOTECHNICAL ENGINEER.
- IF CONDITIONS IN THE FIELD ARE DIFFERENT THAN THOSE INDICATED, THE CONTRACTOR IS TO IMMEDIATELY NOTIFY THE ENGINEER IN WRITING.
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT APPROPRIATE SELECT BACKFILL IS USED, AND THOROUGHLY COMPACTED TO 98% MAX. DENSITY ASTM D 698.
- STRUCTURAL CONCRETE AND CONCRETING PRACTICES SHALL CONFORM WITH ACI-318, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" DETAILS ARE TO BE IN ACCORDANCE WITH ACI-318, "MANUAL OF STANDARD PRACTICE: DETAILS AND DETAILING OF CONCRETE REINFORCEMENT". FORM WORK SHALL CONFORM ACI-347 "GUIDE TO FORM WORK FOR CONCRETE", UNLESS OTHERWISE NOTED ON THE CONTRACT DOCUMENTS.
- CONCRETE MUST BE NORMAL WEIGHT STONE AGGREGATE WITH THE STATED MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS. HISTORICAL DATA OR LABORATORY TESTS FOR THE PRELIMINARY DESIGN MIX IS TO BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION. THE WATER-CEMENT RATIO FOR THE PROPOSED MIX DESIGN MUST ACHIEVE AN AVERAGE 28-DAY STRENGTH OF 1,200 PSI GREATER THAN THE REQUIRED STRENGTH ON LABORATORY TEST RESULTS.
- CONCRETE IS TO HAVE A SLUMP NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".
- EXPOSED CONCRETE IS TO BE AIR ENTRAINED, 6% (WITHIN 1% TOLERANCE), CONFORMING TO ASTM C209.
- CONCRETE IS TO BE CONSOLIDATED IN PLACE USING AN INTERNAL VIBRATOR.
- REINFORCING STEEL BARS SHALL BE BILLET STEEL ASTM A615, GRADE 60. ALL REINFORCEMENT TO BE SECURELY HELD IN PLACE WHILE PLACING CONCRETE. IF REQUIRED, ADDITIONAL BARS OR STIRRUPS TO BE PROVIDED BY THE CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS. BAR SUPPORTS IN CONTACT WITH EXPOSED SURFACES TO BE PLASTIC TIPPED. ALL ACCESSORIES MUST BE GALVANIZED.
- ALL SPLICES OF REINFORCING BARS NOT INDICATED ARE TO BE LITS AS PER THE REINFORCING SCHEDULE OR 40 BAR DIAMETERS. DISCONTINUOUS ENDS OF CONTINUOUS BARS ARE TO BE STANDARD HOOKS.
- IF CAVING OF DRILLED HOLES ARE ENCOUNTERED, CONTRACTOR SHALL PROVIDE BENTONITE SLURRY IN PERMANENT CASINGS FOR DRILLED CONCRETE PIER FOUNDATIONS.
- CONCRETE MUST ATTAIN 80% OF THE DESIGN STRENGTH OR CURE FOR A MINIMUM OF 7 DAYS PRIOR TO THE INSTALLATION OF THE LIGHT POLES OR ALL LIGHT POLES ARE TO BE SUITABLY BRACED AGAINST WIND LOADS DURING THE ABOVE MENTIONED TIMEFRAME.
- ALL ELECTRICAL COMPONENTS TO COMPLY WITH N.E.C.
- WHEN 2'-6" CLEARANCE CAN NOT BE PROVIDED, CONCRETE FOUNDATION MUST BE EXTENDED TO 30" ABOVE SURFACE, OR PROVIDE BOLLARD PROTECTION FOR LIGHT POLE.
- VERIFY WITH LOCATIONS SHOWN ON LIGHTING PLAN.
- CONTRACTOR IS TO RECORD ON A CLEAN COPY OF THE LIGHTING PLANS, THE LOCATION OF CONDUIT SUPPLYING POWER TO LIGHTS. A COMPLETED COPY OF THIS RECORD PLAN IS TO BE PROVIDED TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE WORK.
- UPON ACCEPTANCE OF THE COMPLETED WORK BY THE OWNER, THE OWNER IS RESPONSIBLE FOR APPROPRIATE MAINTENANCE OF THE LIGHTING SYSTEM.

LIGHT POLE FOUNDATION SCHEDULE

MAXIMUM HEIGHT ABOVE GRADE "A" **	25'-0"
ASSUMED AVERAGE POLE DIAMETER "B"	8"
# OF FIXTURES	SINGLE
MINIMUM FOUNDATION DIAMETER "C"	24"
MINIMUM FOUNDATION DEPTH "D"	6'-6"
REINFORCING TIES "E"	#3 TIES @12" C-C
VERTICAL HOOKED REINFORCEMENT "F"	#5 BARS EQUALLY SPACED

* = ADD 3 TIES, 4" C-C, AT TOP OF THE FOUNDATION
** = THIS MAY NOT BE ACTUAL MOUNTING HEIGHT. SEE LIGHTING SCHEDULE



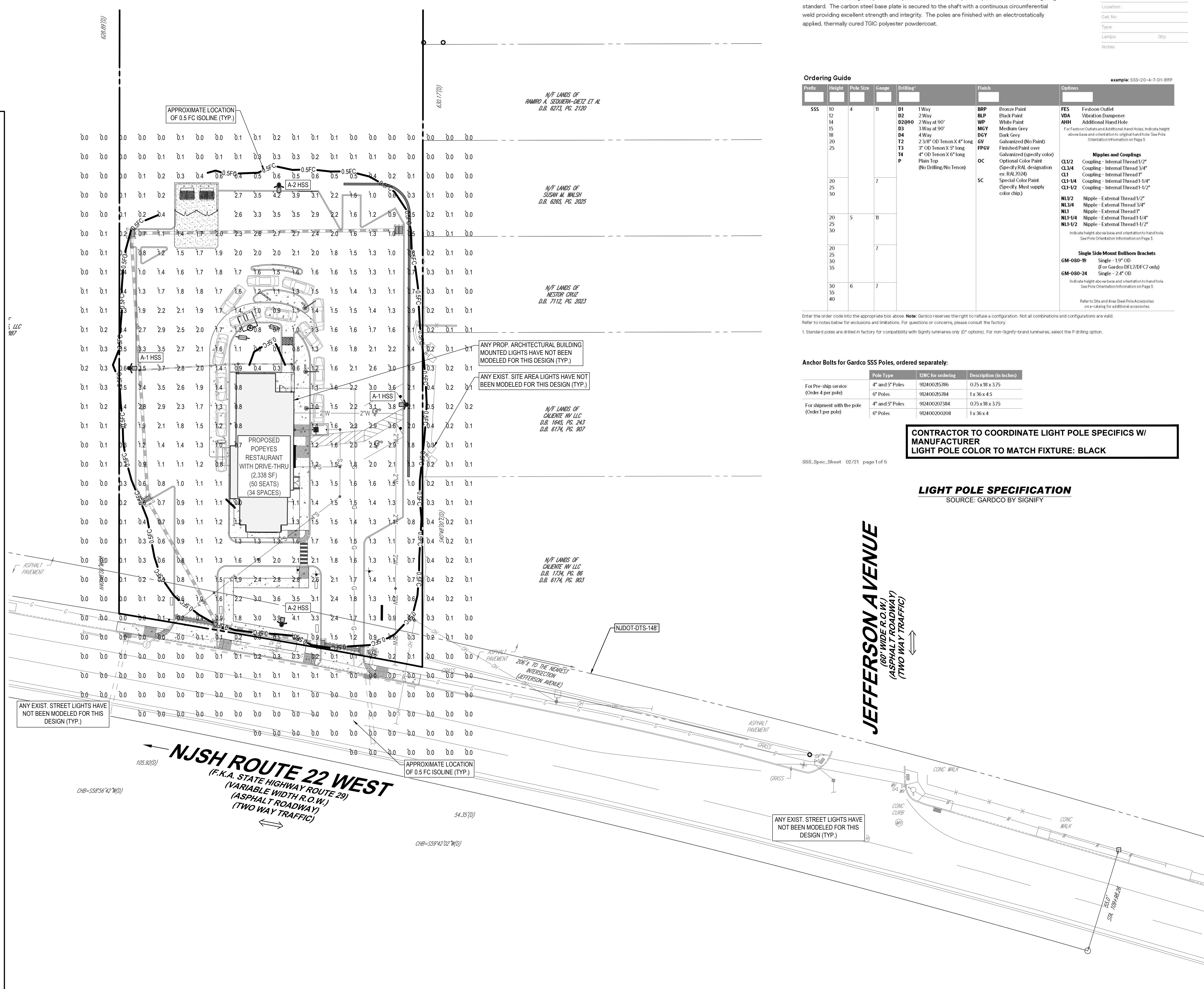
LIGHT POLE FOUNDATION DESIGN CRITERIA

- MINIMUM REQUIRED ALLOWABLE BEARING PRESSURE = 1,000 PSF - ASSUMED (TO BE VERIFIED IN FIELD)
- SOIL FRICTION ANGLE = 30 DEG - ASSUMED (TO BE VERIFIED IN FIELD)
- SOIL DRY UNIT WEIGHT = 120 PCF - ASSUMED (TO BE VERIFIED IN FIELD)
- WIND PRESSURE = 30 PSF

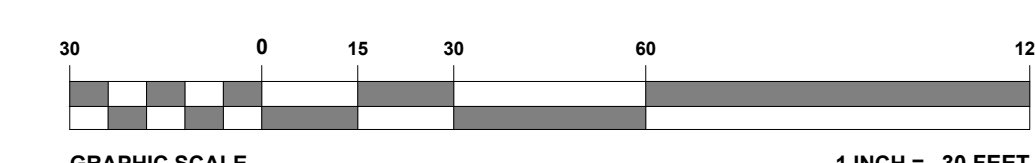
NOTES: SEE SCHEDULE AND NOTES FOR ADDITIONAL INFORMATION

LIGHT POLE FOUNDATION DETAIL

NOT TO SCALE (1020101-012013)(MODIFIED)



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NJ CERT. OF AUTHORIZATION NO. 24628-1917000 & MH6000122

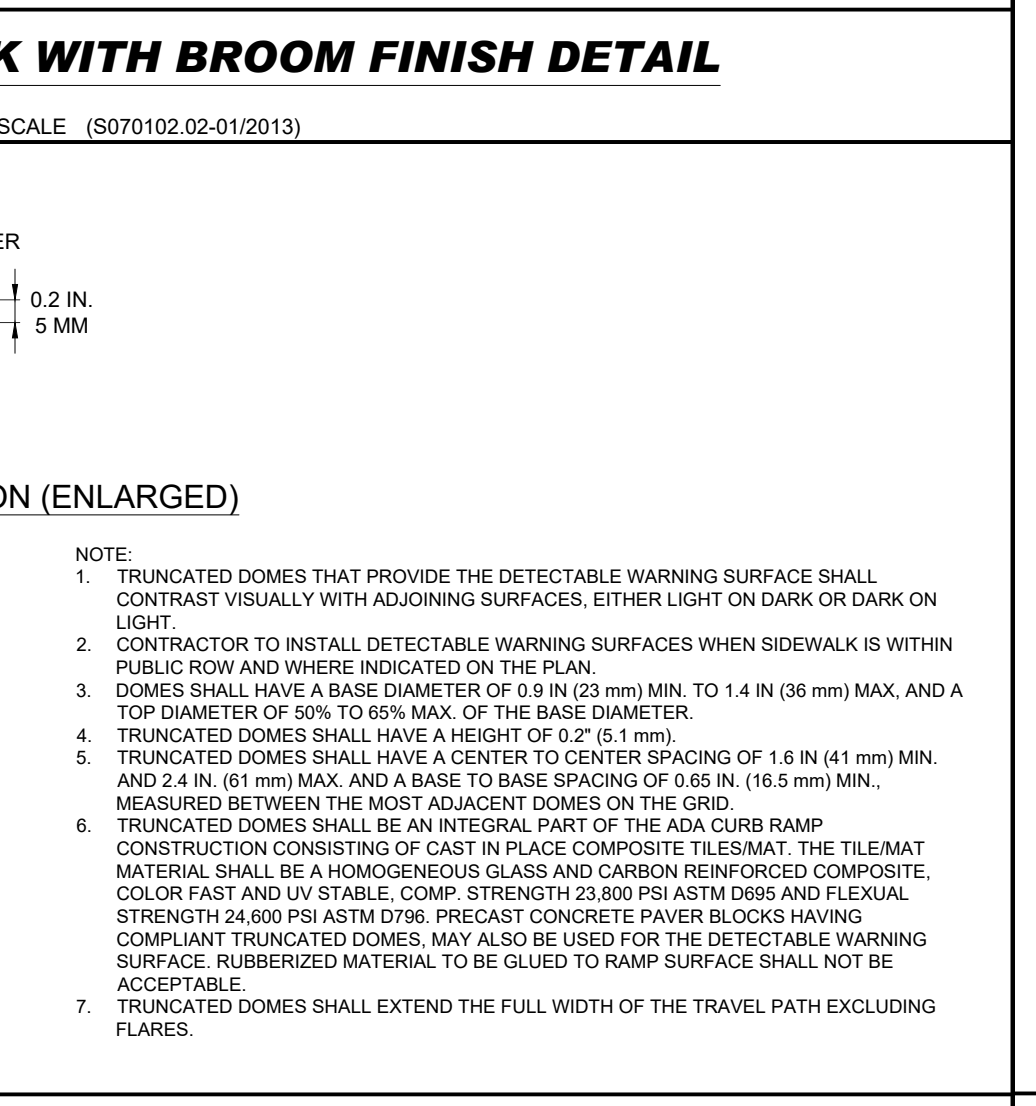
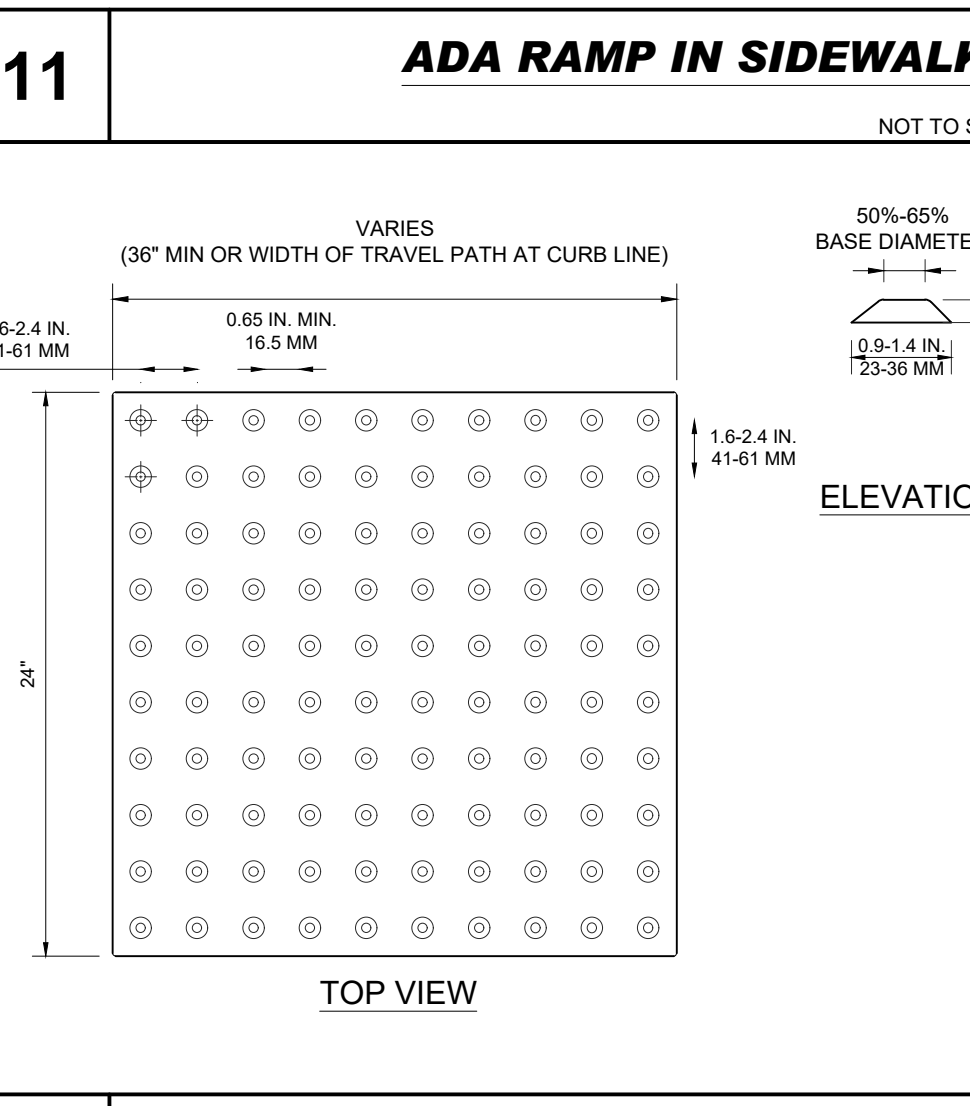
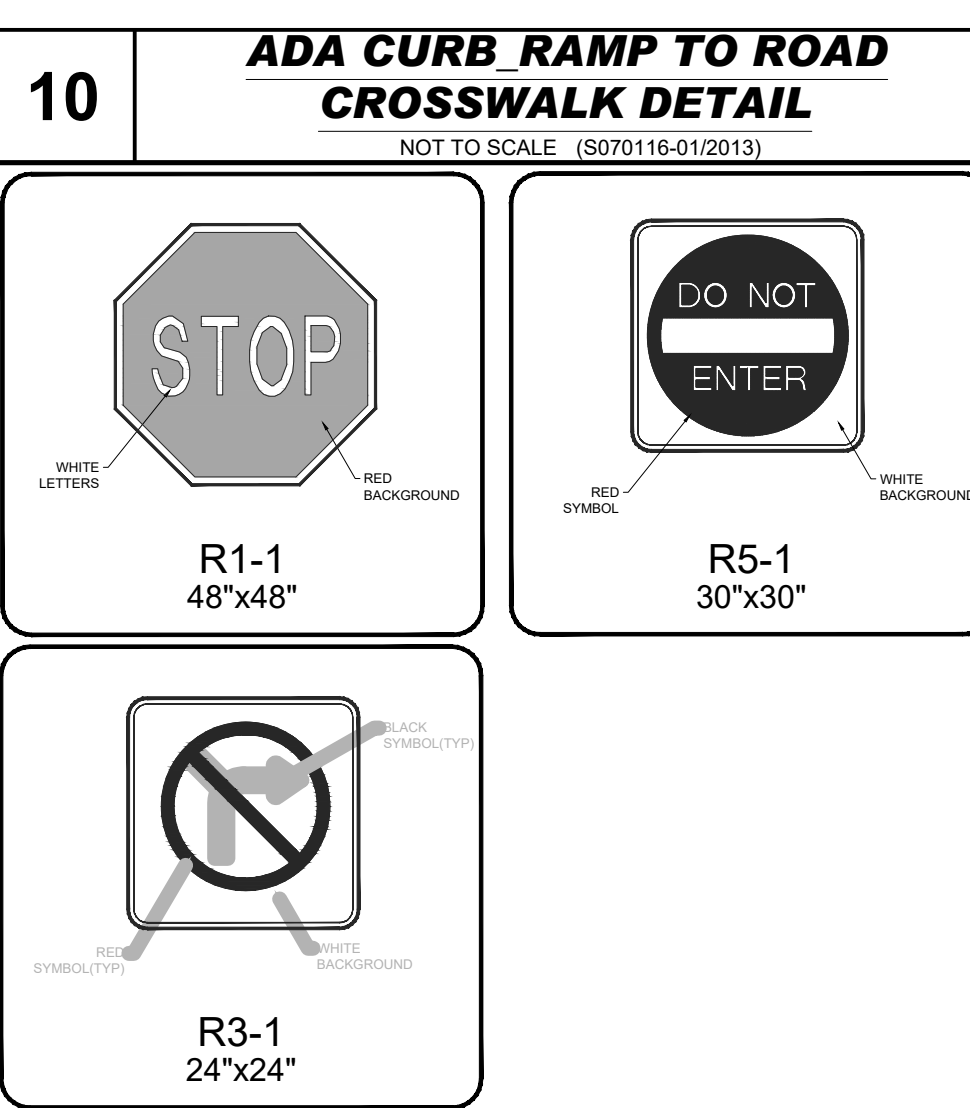
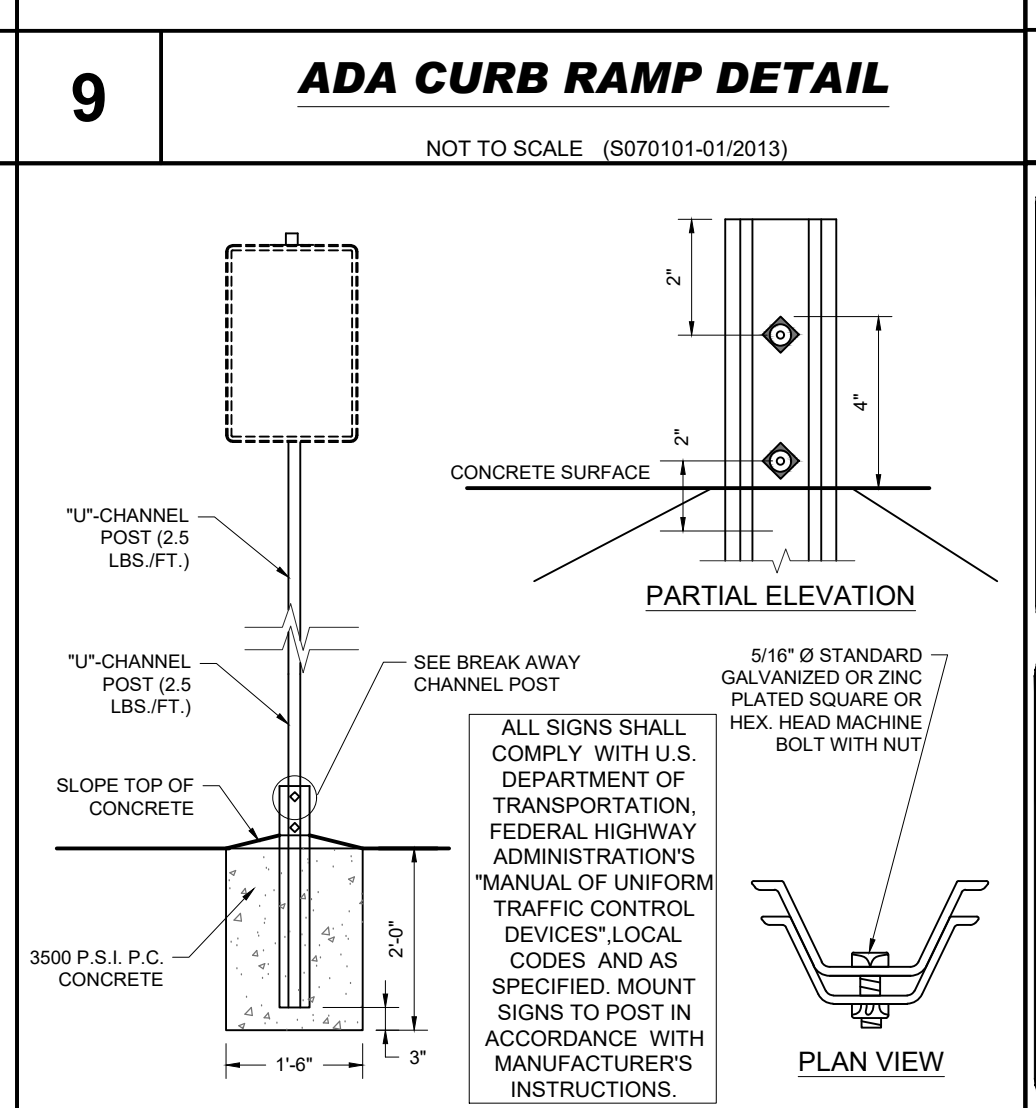
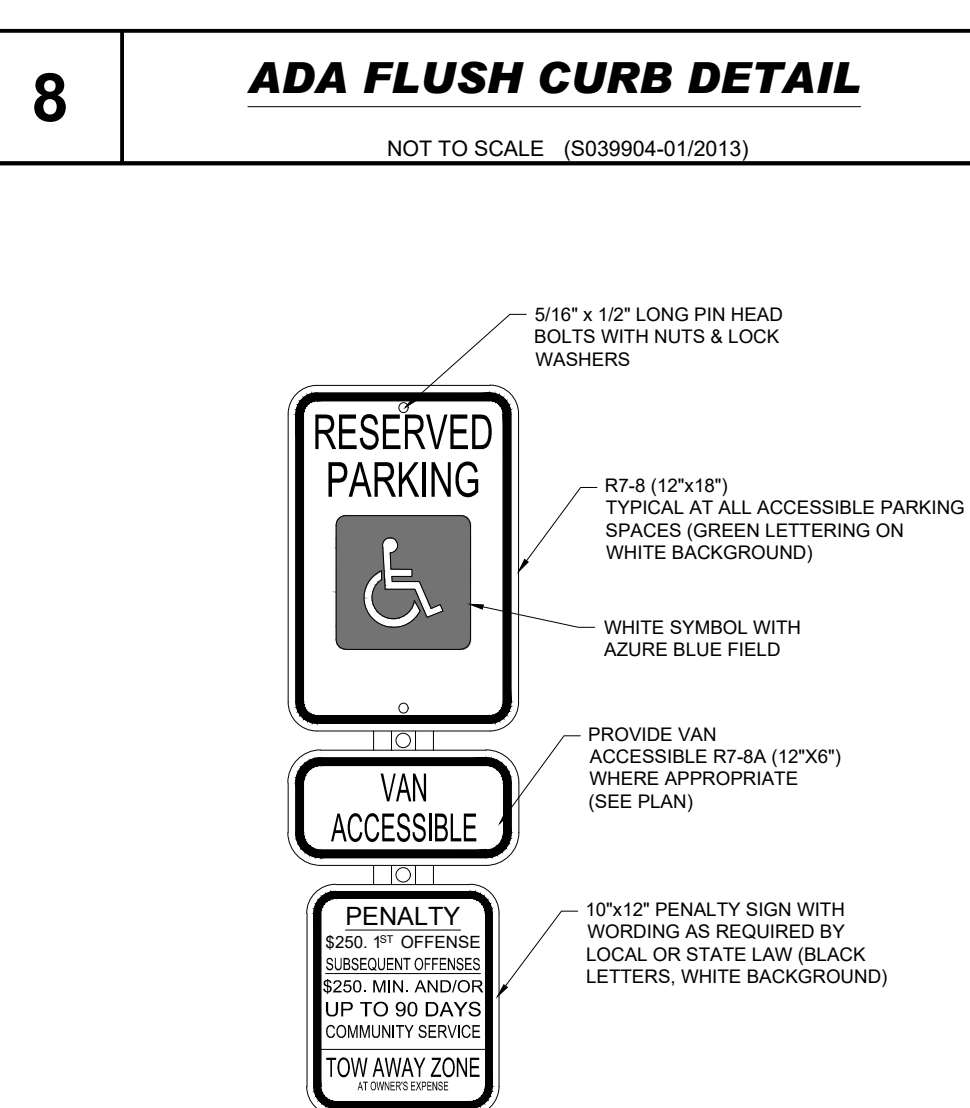
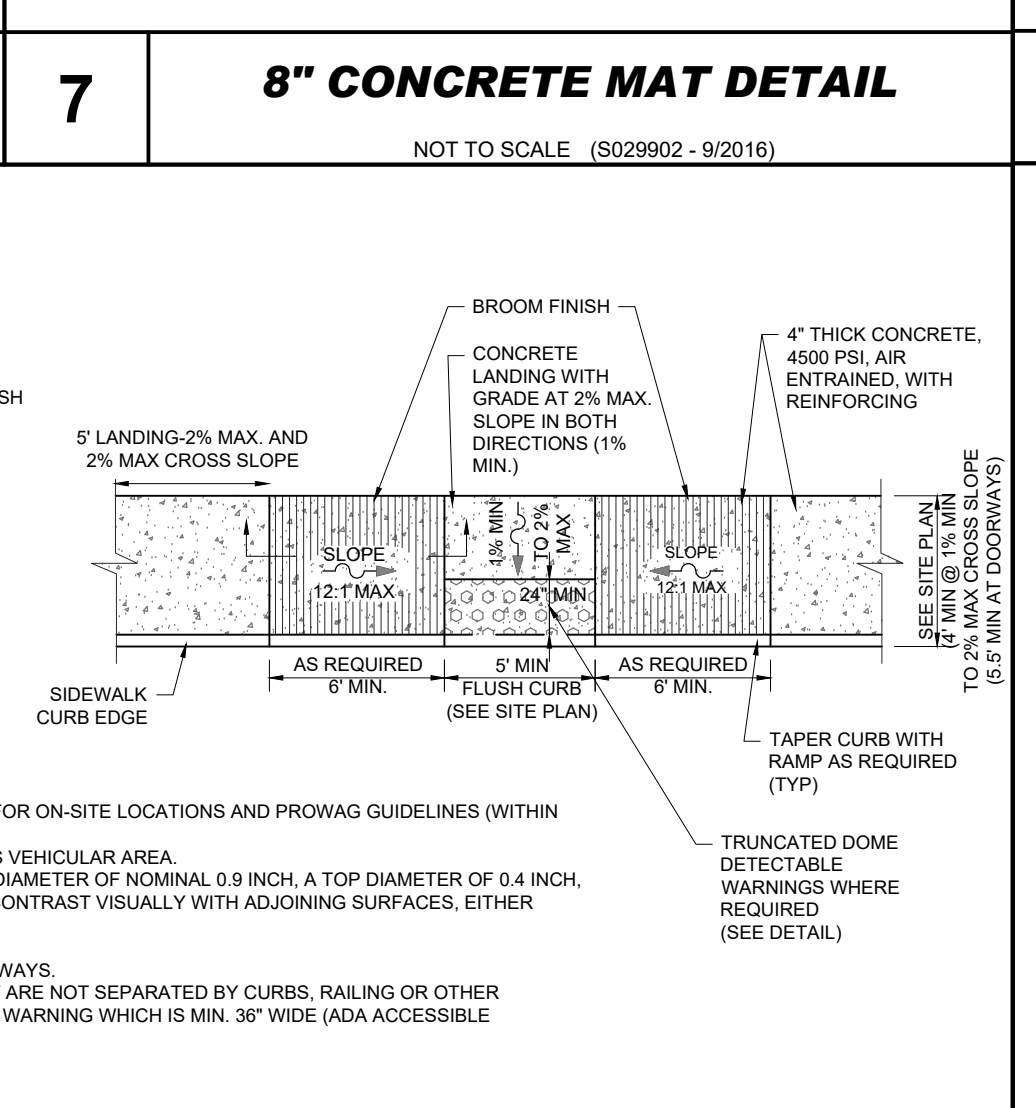
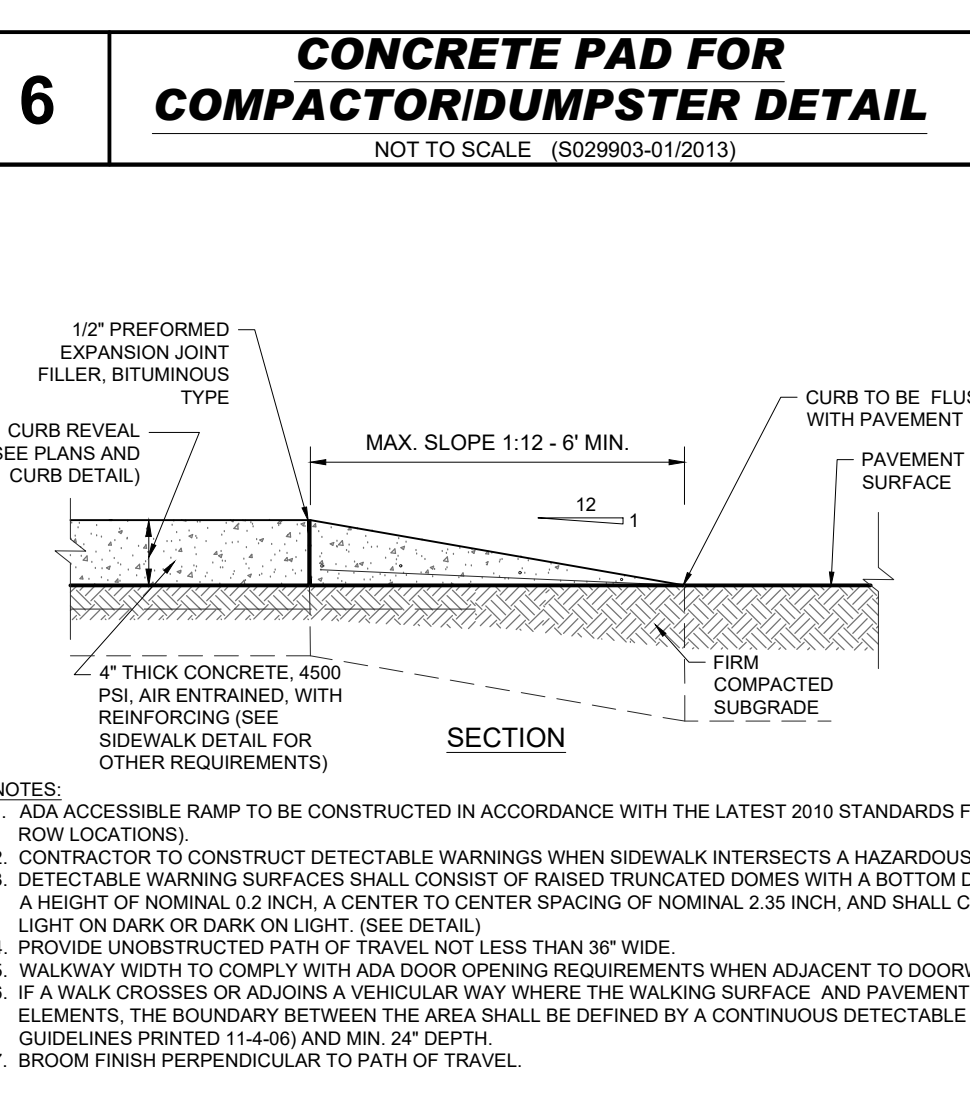
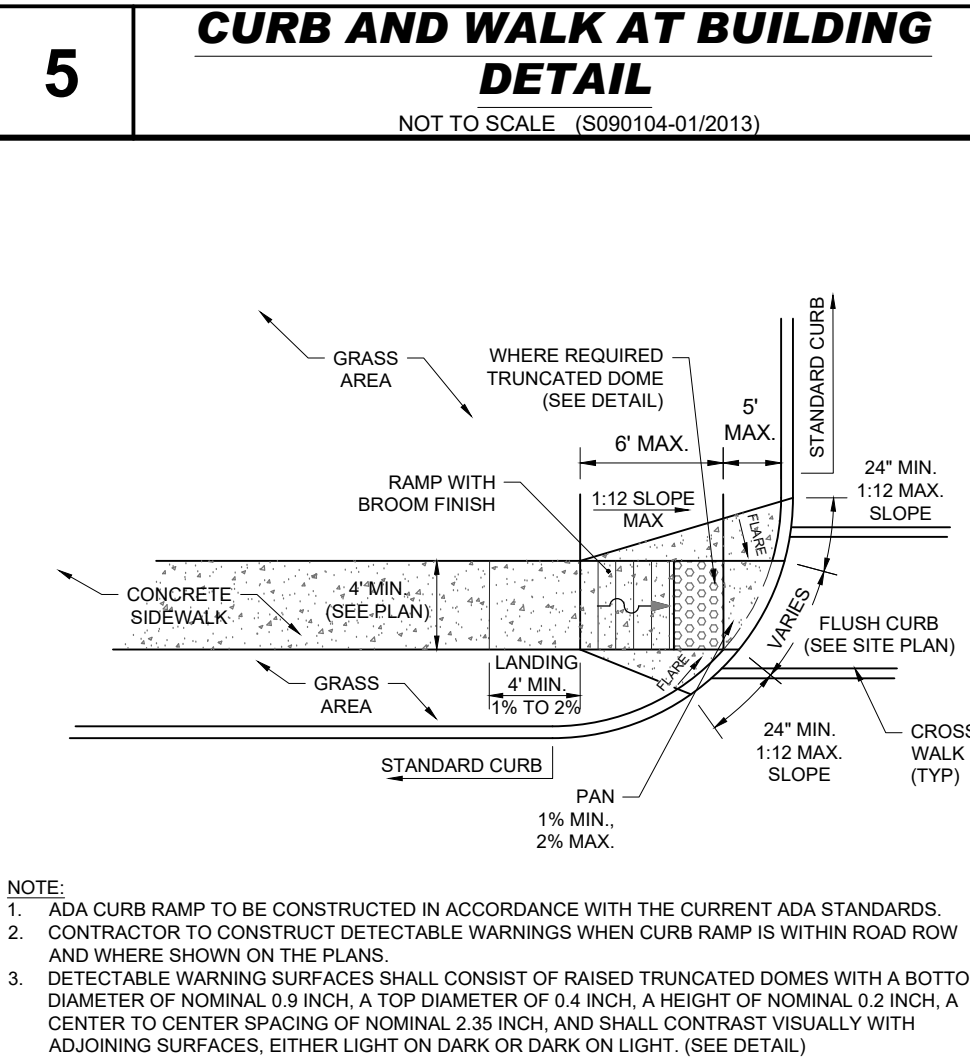
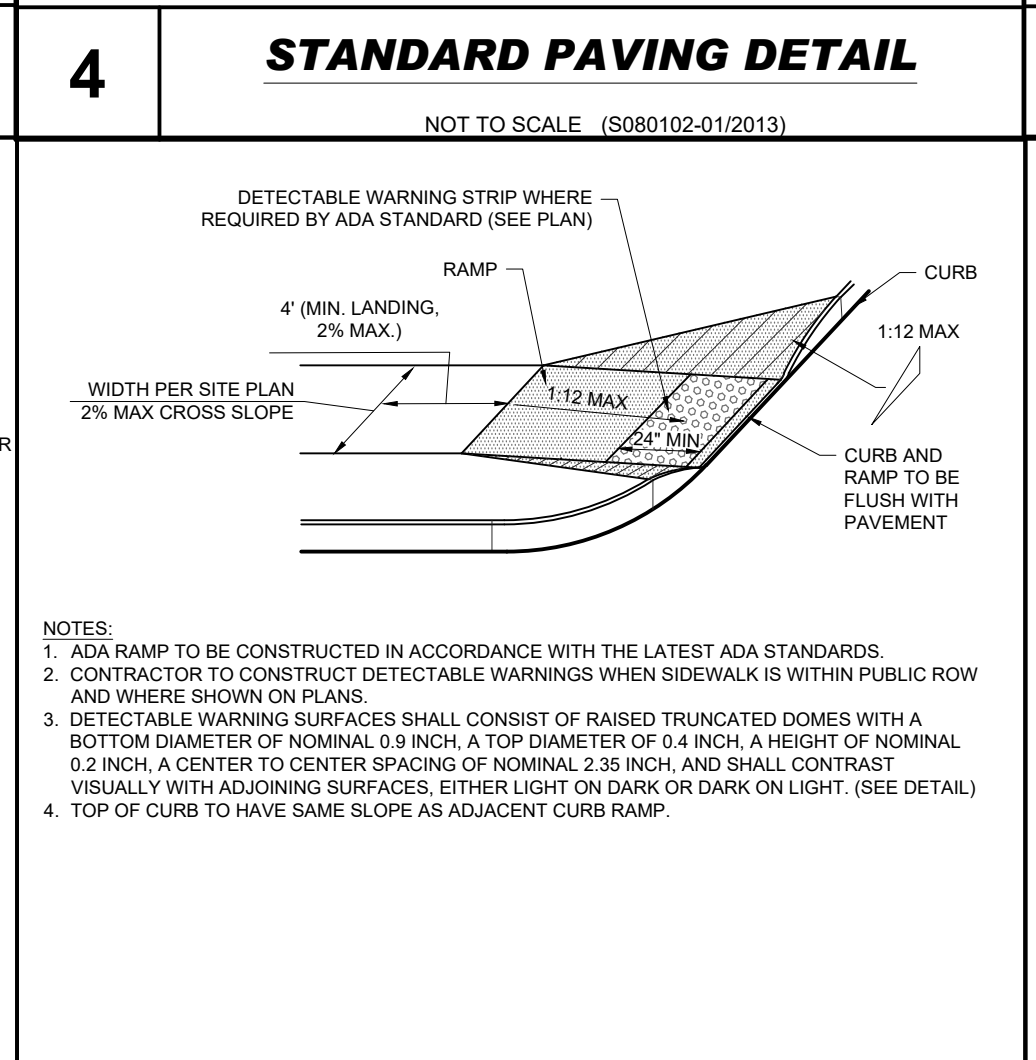
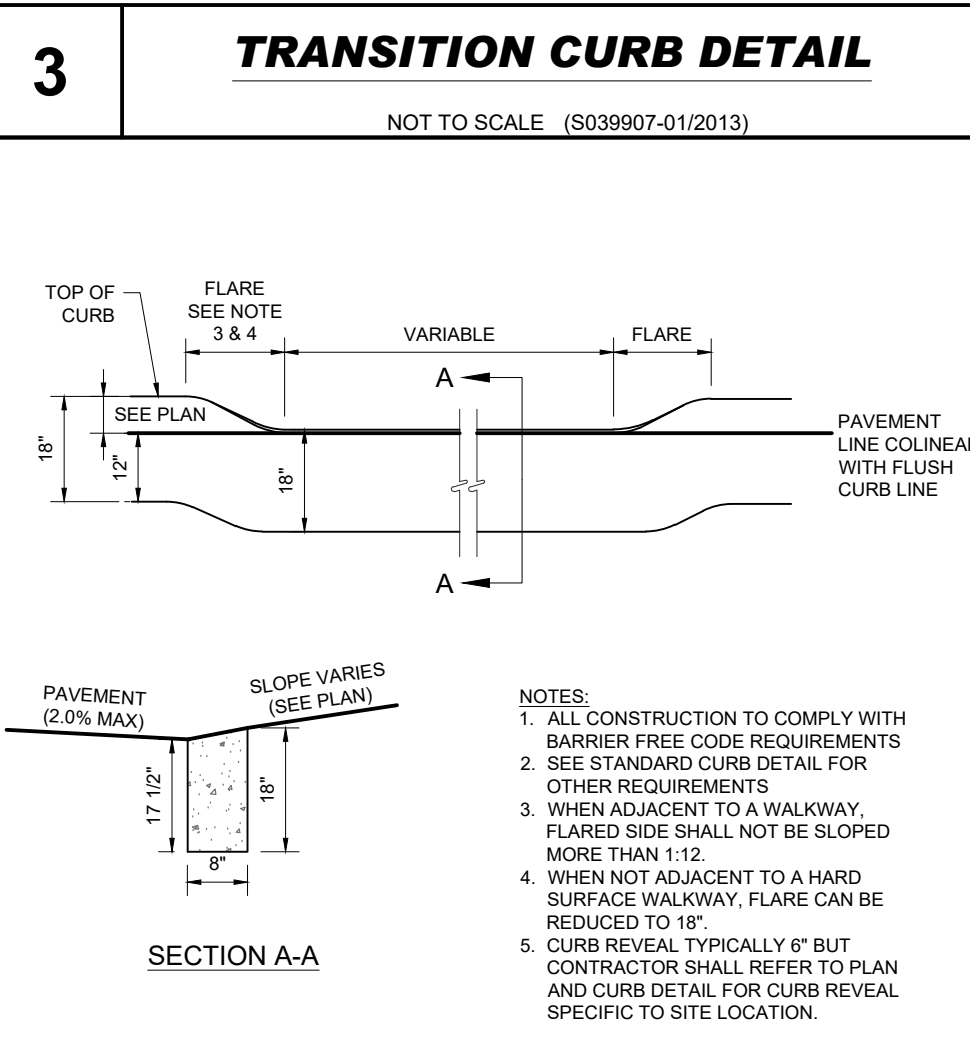
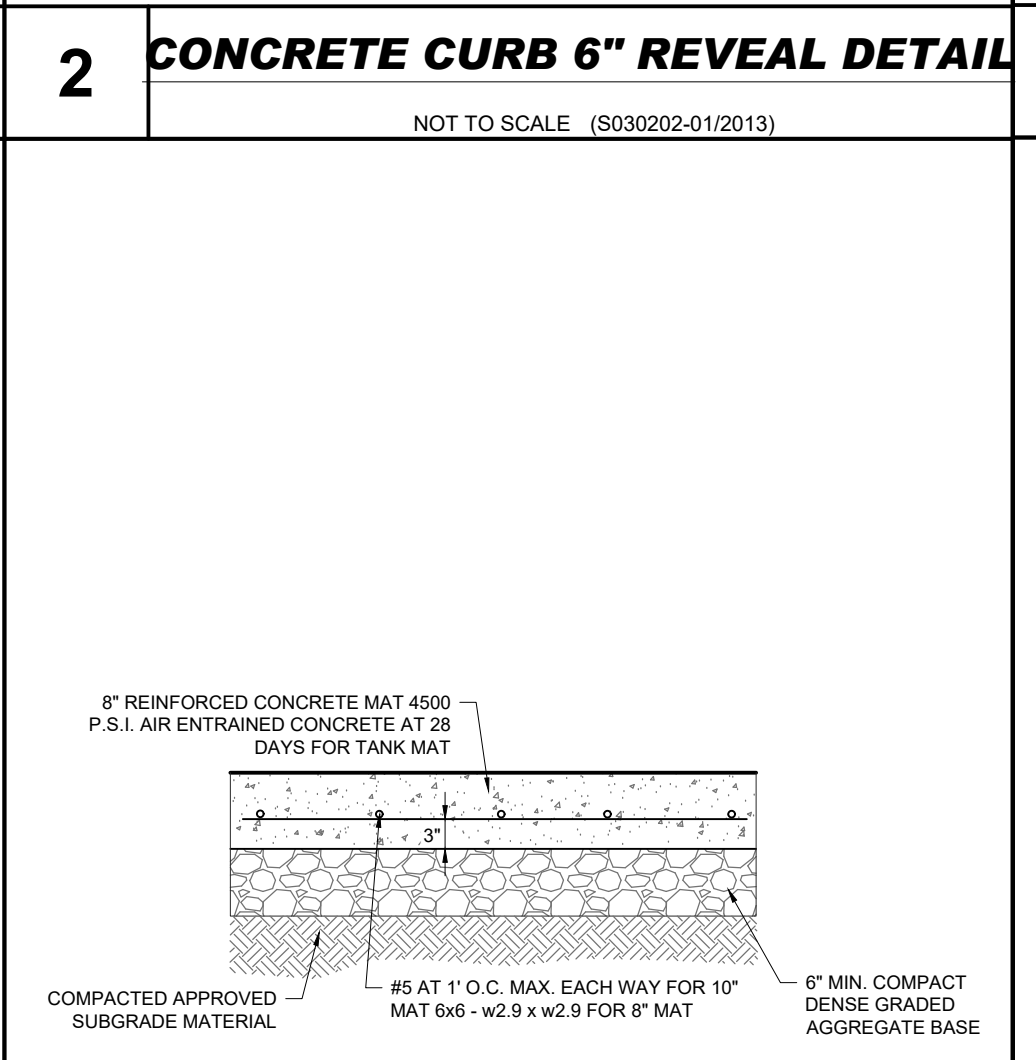
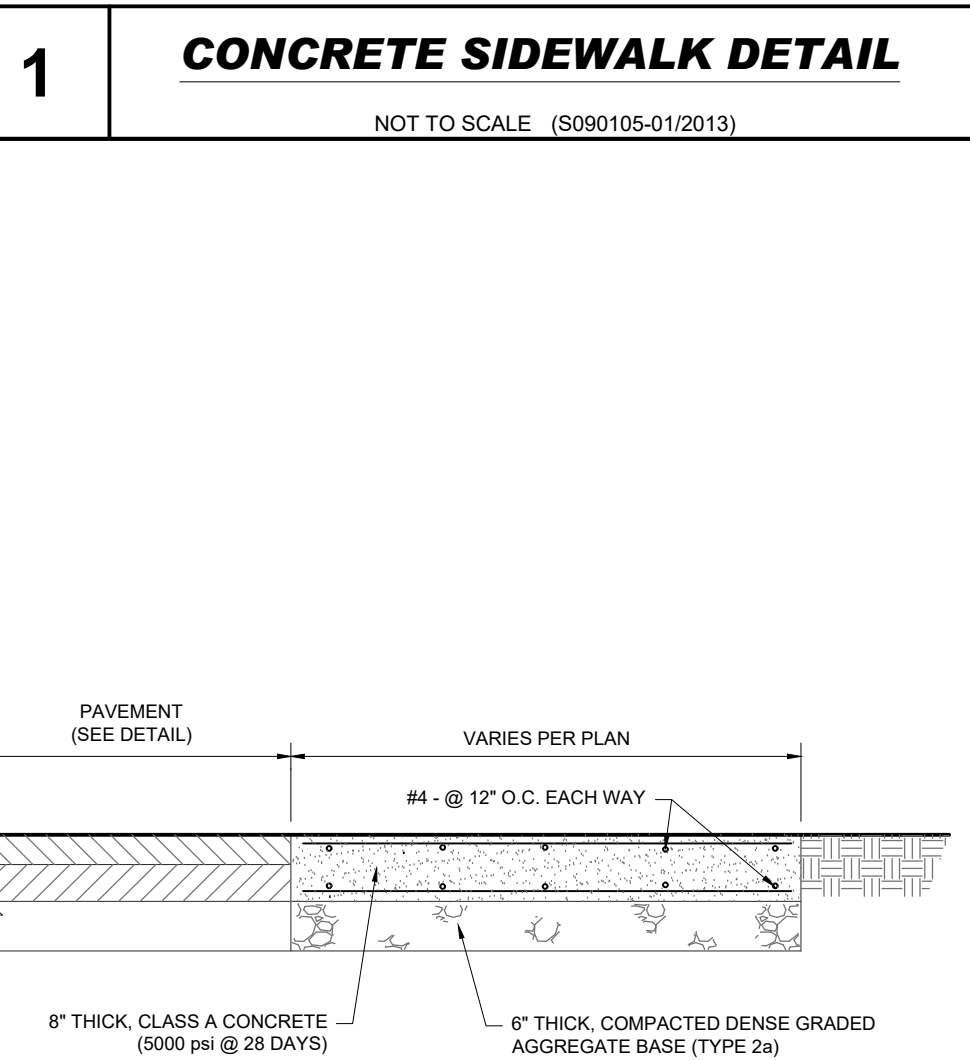
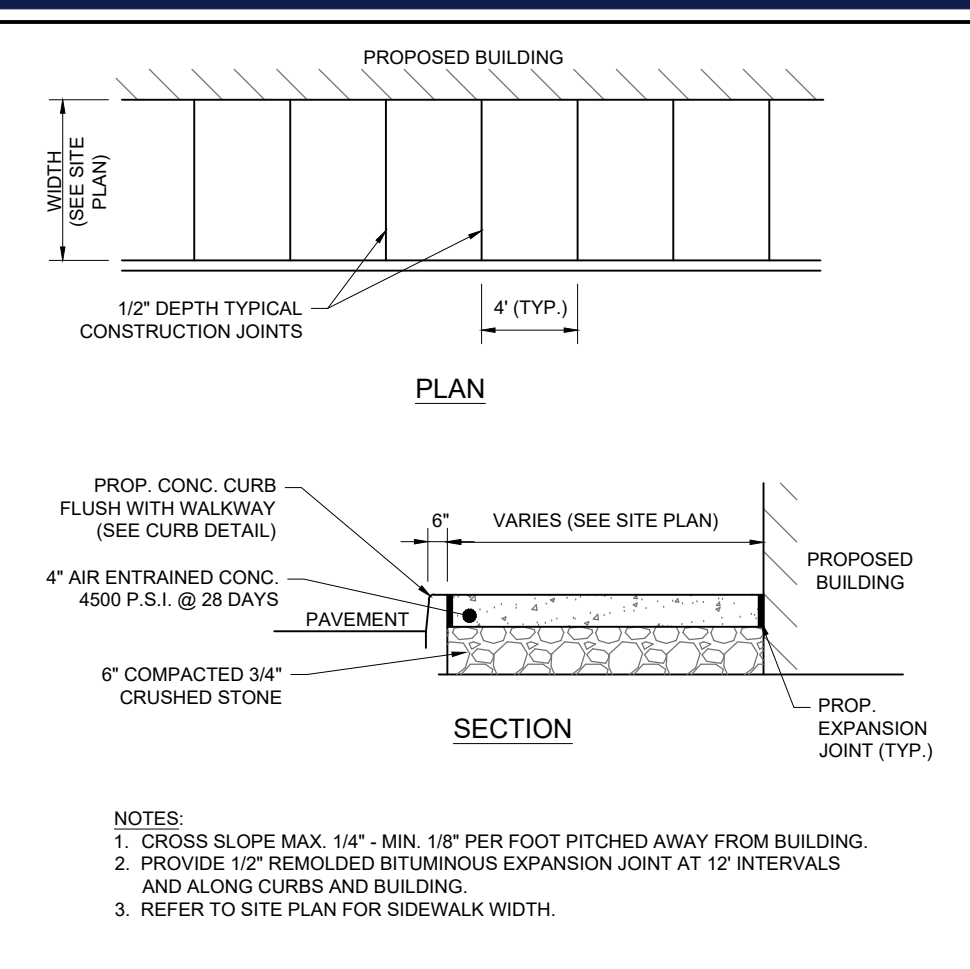
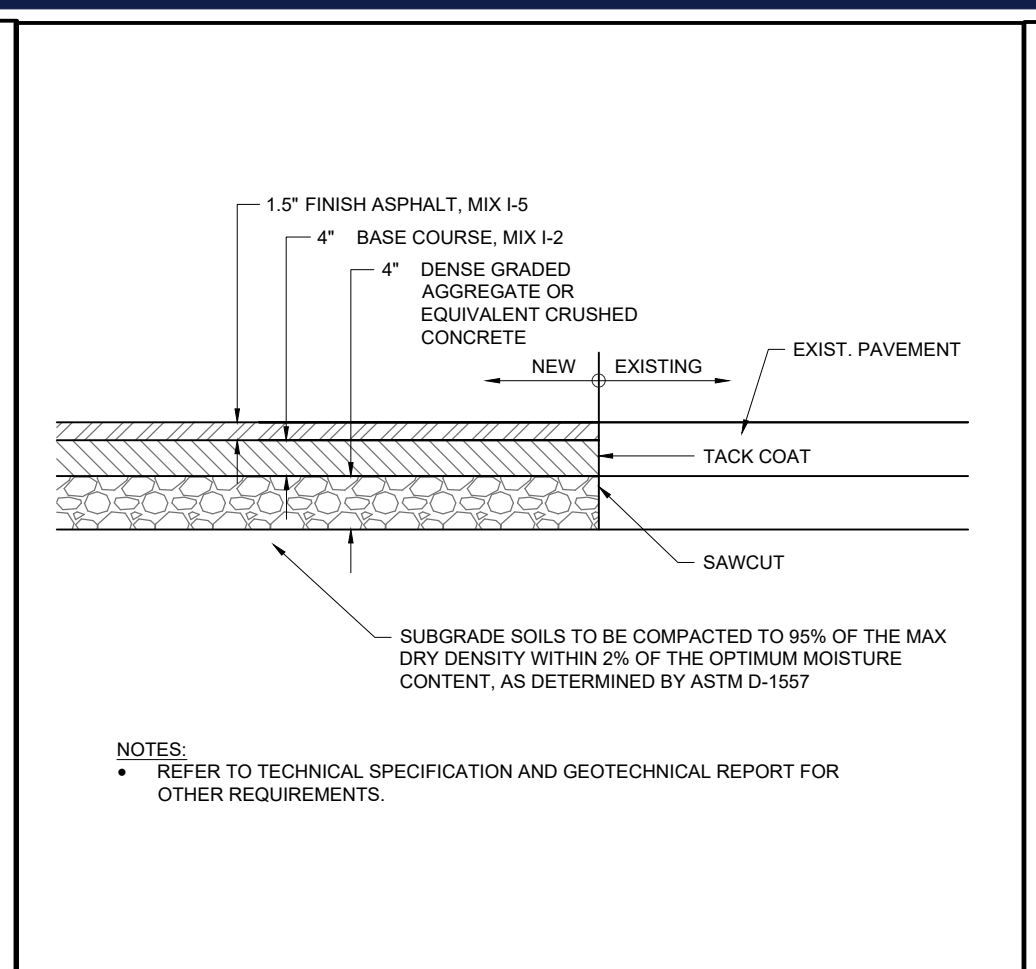
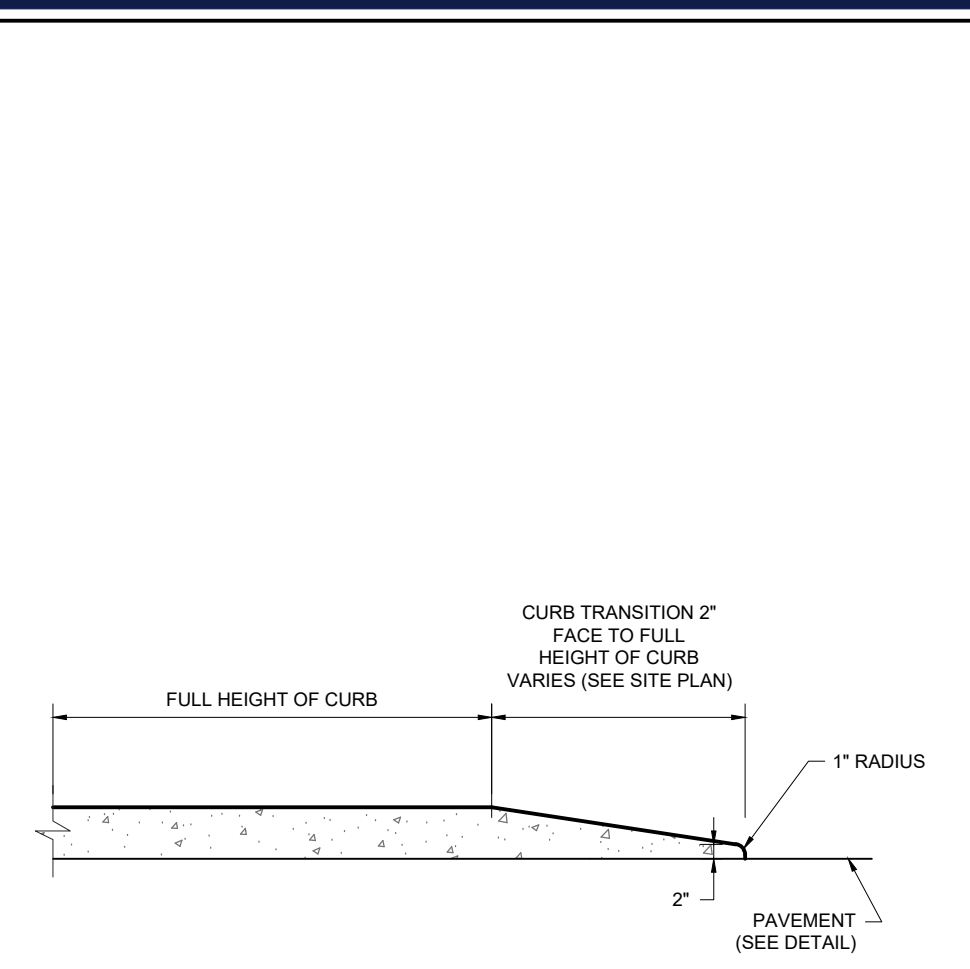
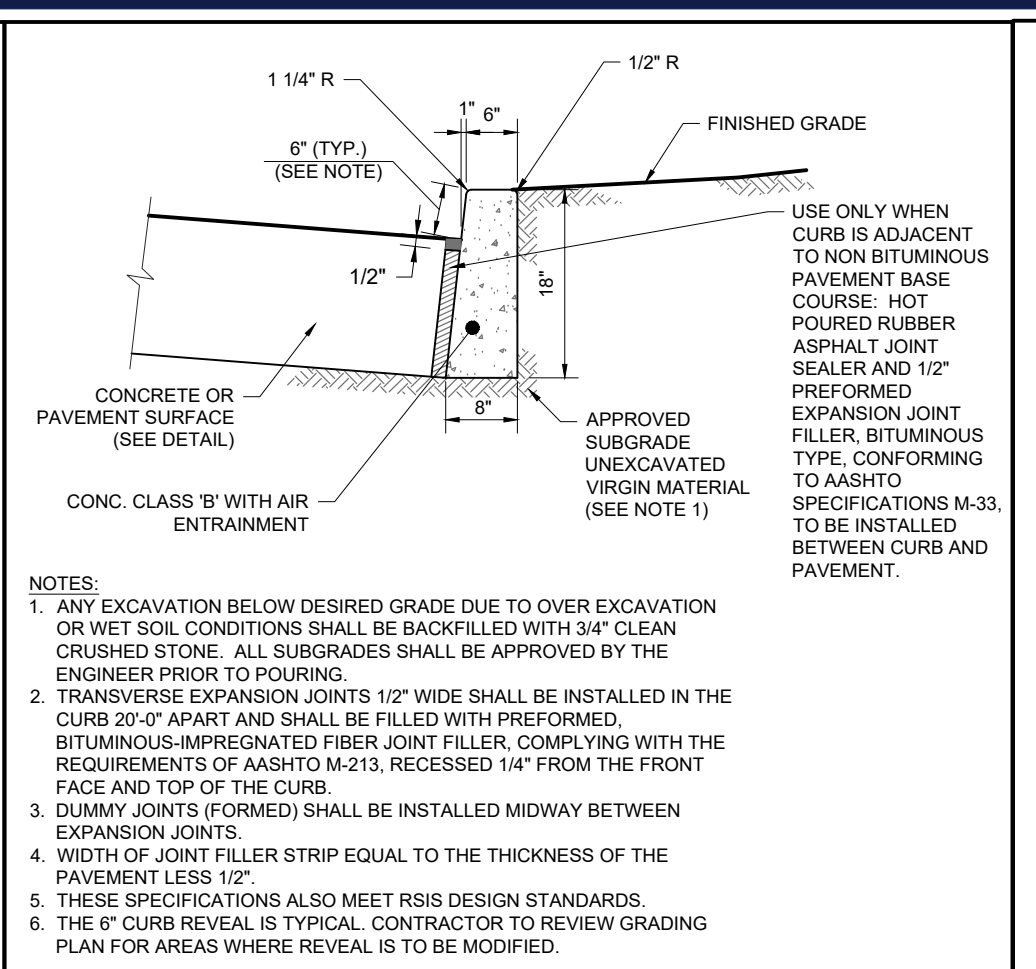
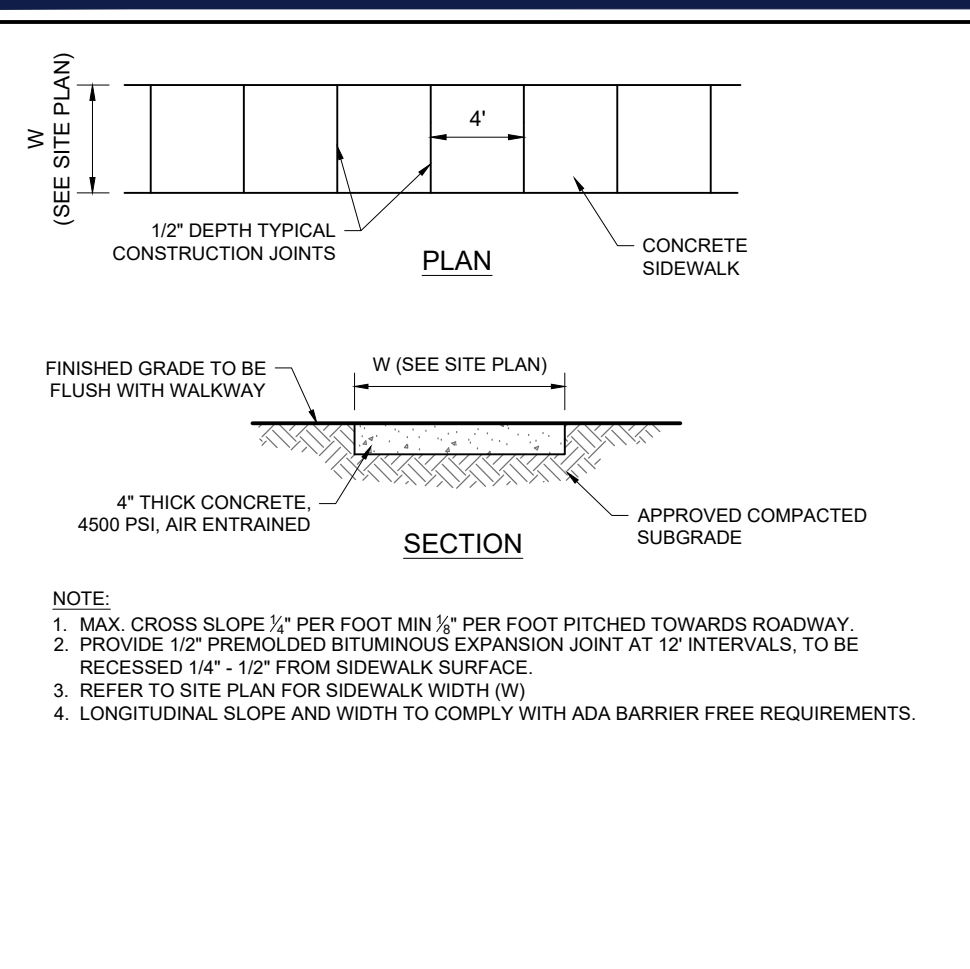
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LIGHTING PLAN

SHEET NUMBER:
C-703

REVISION 1 - 08/31/2021

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PROJECT No.: J201001
DRAWN BY: AMD
CHECKED BY: TXL
DATE: 08/20/2021
CAD ID: J201001-COVR-1A

PRELIMINARY & FINAL SITE PLAN

FOR
933 ROUTE 22 WEST, LLC

PROPOSED
POPEYES RESTAURANT WITH DRIVE-THRU
BLK: 158 | LOT: 9
933 N.J.S.H. ROUTE 22 WEST
BOROUGH OF NORTH PLAINFIELD
SOMERSET COUNTY, NEW JERSEY

BOHLER
BOHLER ENGINEERING NJ, LLC
30 INDEPENDENCE BLVD., SUITE 200
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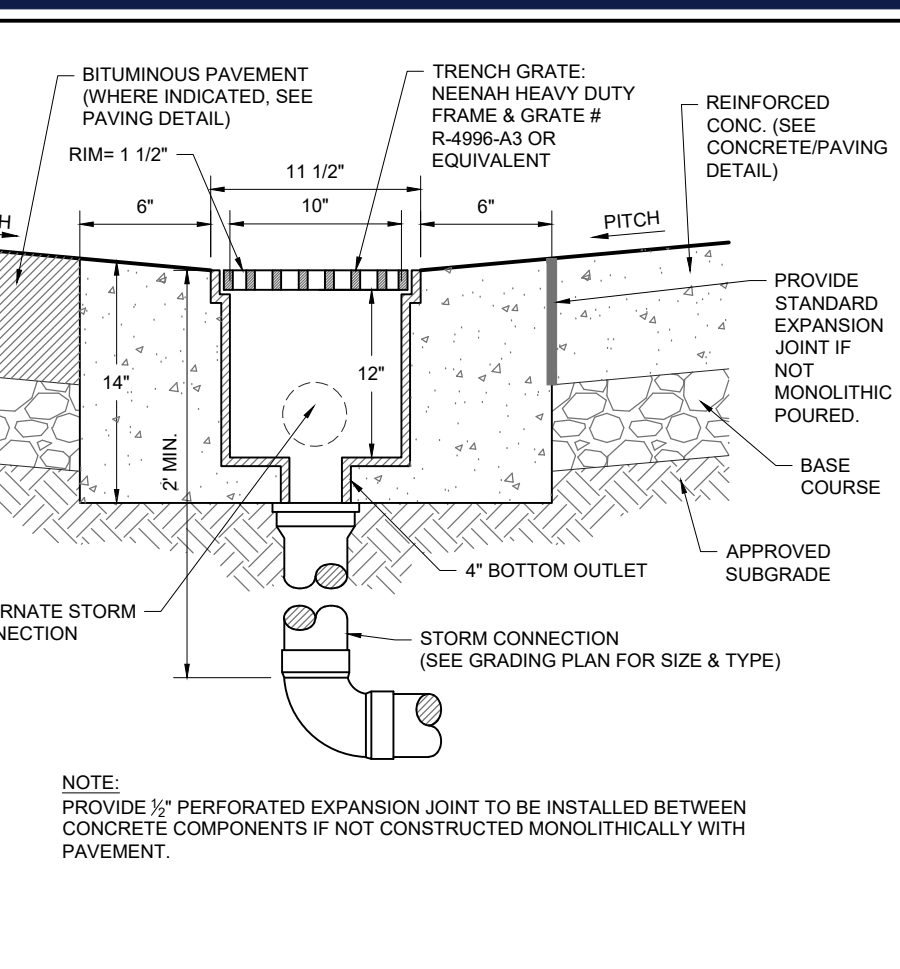
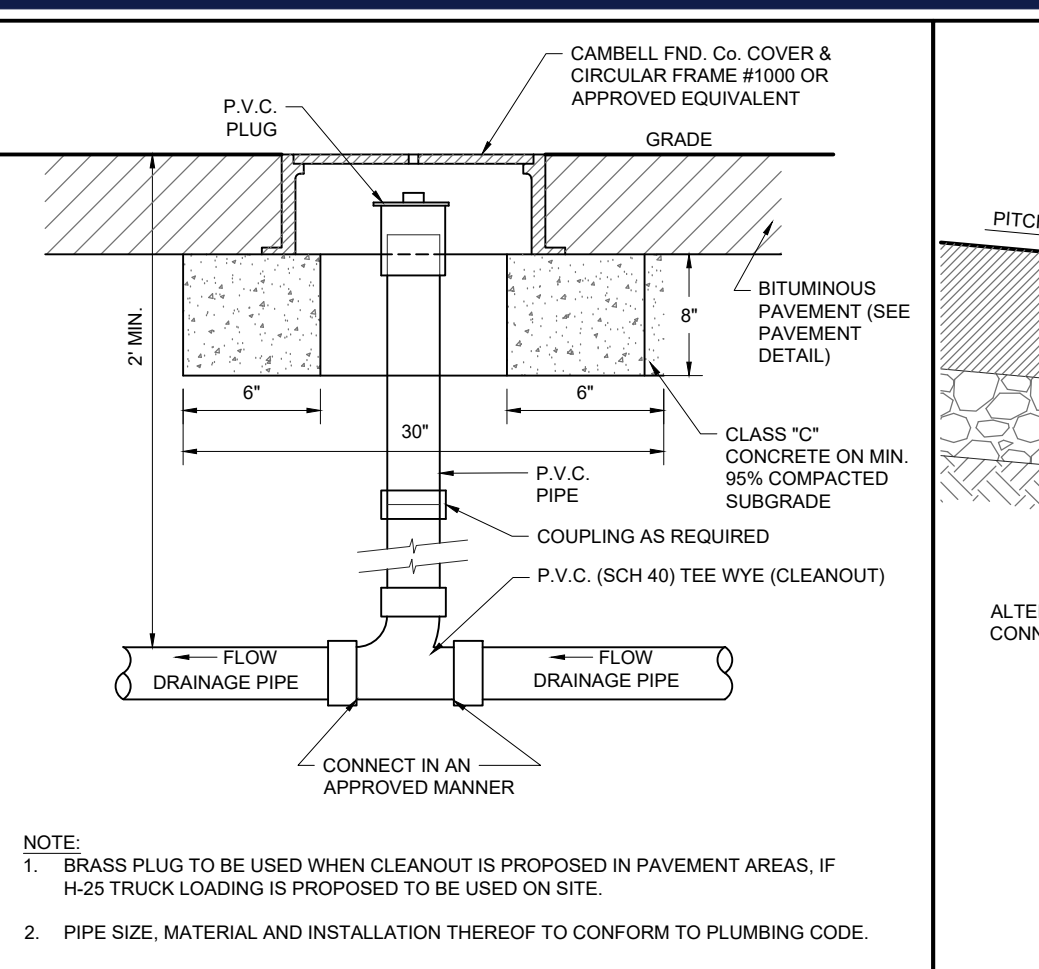
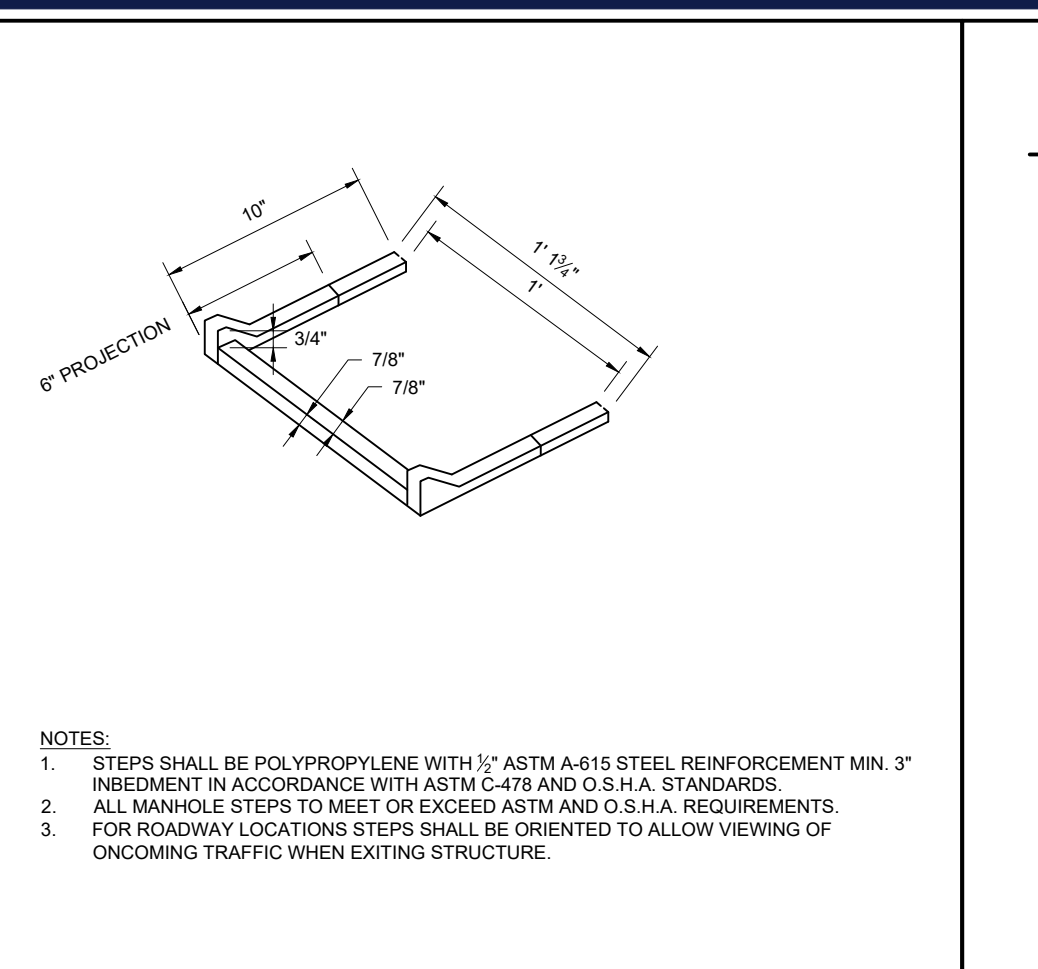
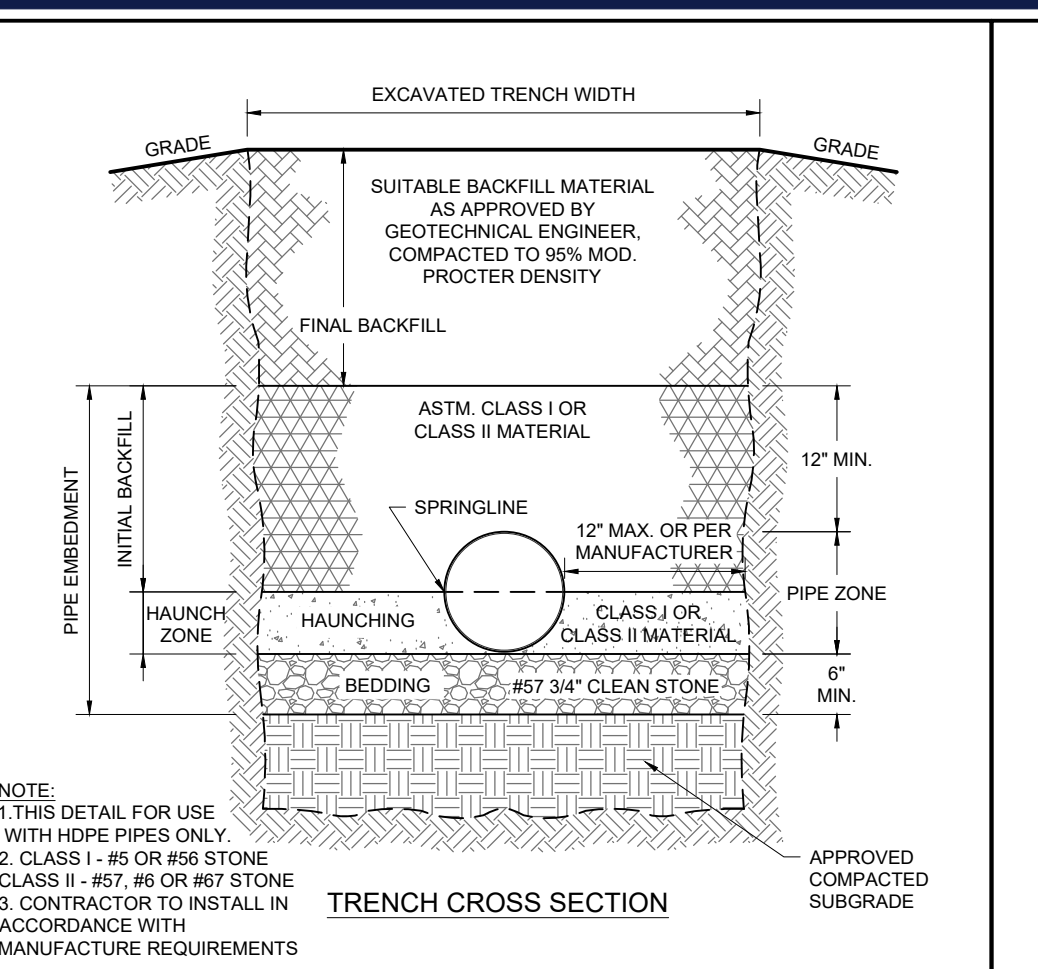
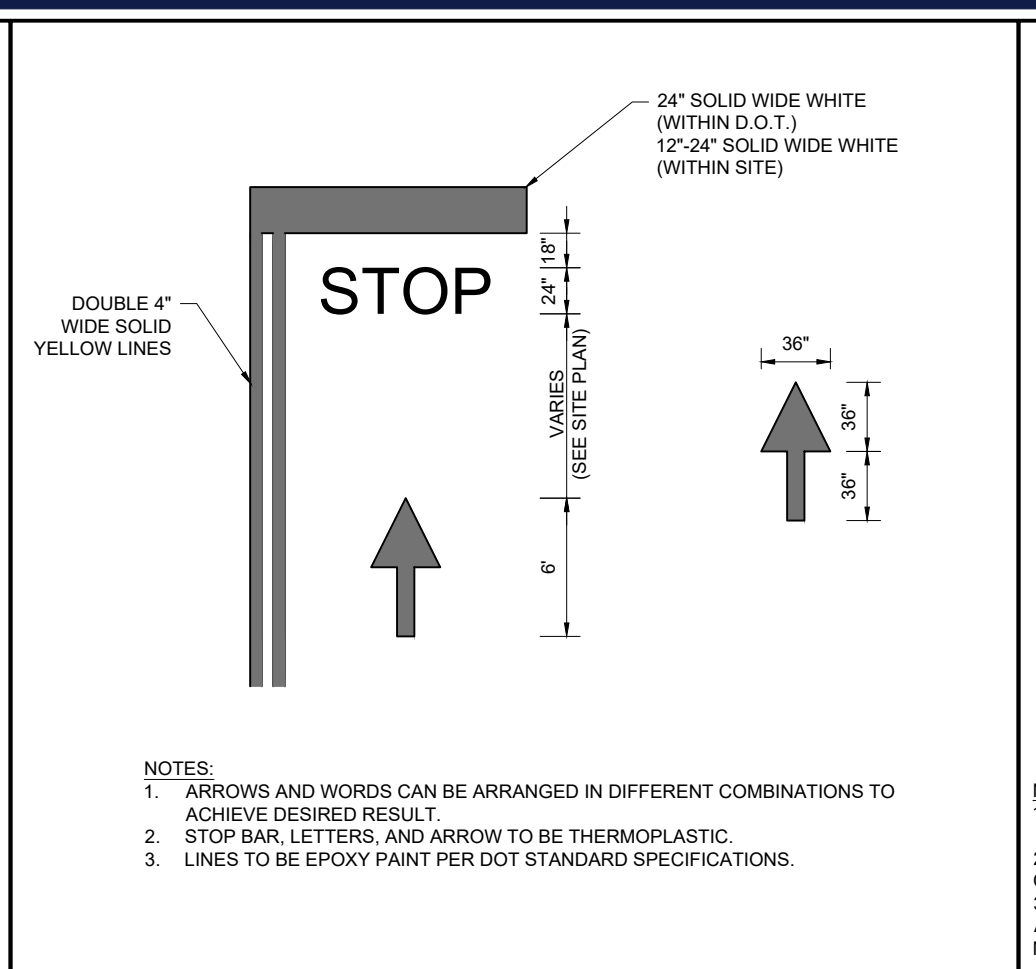
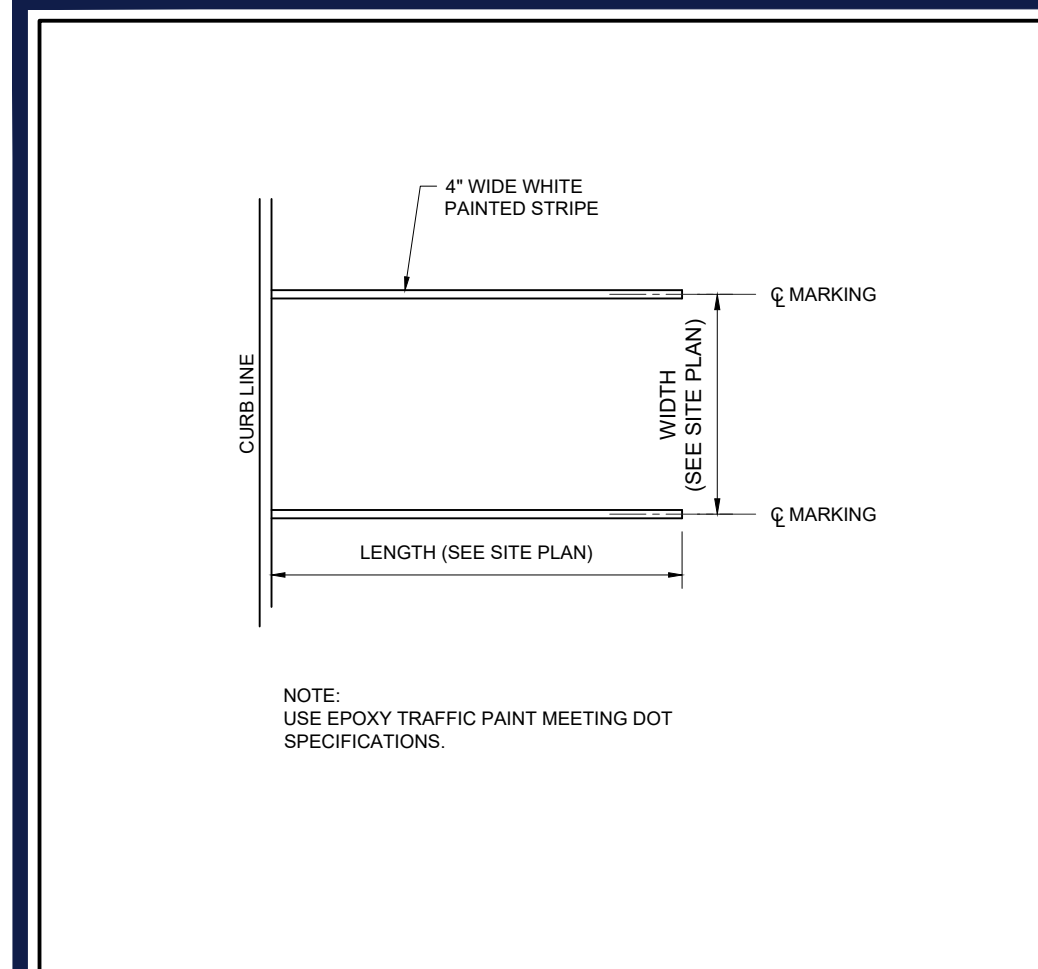
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SHEET TITLE:
DETAIL SHEET

SHEET NUMBER:
C-901

REVISION 1 - 08/31/2021

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1 STANDARD CURB AND INLET DETAIL
NOT TO SCALE (S080506-01/2013)

2 PAINTED MARKING DETAILS
NOT TO SCALE (S080501-01/2013)

3 STORM TRENCH FOR HDPE PIPE DETAIL
NOT TO SCALE (G029111-01/2013)

4 MANHOLE POLYPROPYLENE LADDER RUNG DETAIL
NOT TO SCALE (G02405-01/2013)

5 ROOF DRAIN CLEANOUT IMPERVIOUS SURFACES DETAIL
NOT TO SCALE (G02107-01/2013)

6 TRENCH DRAIN CAST IN PLACE DETAIL
NOT TO SCALE (G02105-01/2013)

GENERAL INLET NOTES

- INLETS SHALL MEET H-25 LOADING.
- INLETS MAY BE CONSTRUCTED OF BRICK, CONCRETE SOLID, CONCRETE BLOCK OR PRECAST CONCRETE. WALLS SHALL BE 8 INCHES THICK IF BRICK AND 6 INCHES THICK IF CONCRETE. CONCRETE BLOCK OR PRECAST CONCRETE INLET FOUNDATIONS AND INVERTS SHALL BE CLASS B CONCRETE.
- CORRELLING OF INLET WALLS WILL BE PERMITTED AT THE RATE OF 1/4 INCH PER 8 INCHES OF HEIGHT; MAXIMUM CORRELL 6 INCHES PER WALL.
- EXCEPT FOR INLETS TYPE A AND C, FOUNDATIONS AND INVERTS SHALL BE CONSTRUCTED IN TWO STAGES, AND THE BOTTOM OF THE FOOTINGS SHALL BE 8 INCHES BELOW THE OUTER WALL OF THE LOWEST PIPE IN THE INLET.
- WHEN THE DEPTH OF AN INLET THAT IS NOT PRECAST EXCEEDS 10 FEET AS MEASURED FROM TOP OF GRADE TO INVERT, WALLS BELOW A DEPTH OF 8 FEET SHALL BE 12 INCHES THICK AND THE DEPTH OF FOUNDATION INCREASED TO 12 INCHES. WHEN ROCK IS ENCOUNTERED, THE DEPTH OF THE FOUNDATIONS SHALL NOT BE INCREASED.
- INLET FOUNDATIONS WHICH ARE PRECAST SHALL BE PLACED ON A 6 INCH THICK BED OF COMPACTED COARSE AGGREGATE SIZE NO. 57. THE COARSE AGGREGATE SHALL EXTEND 6 INCHES BEYOND THE HORIZONTAL LIMITS OF THE INLET FOUNDATION.
- CASTINGS FOR PRECAST INLETS SHALL BE ADJUSTED TO GRADE WITH COURSES OF BRICK, AS REQUIRED, 12 INCHES MAXIMUM.
- WHEN THE DEPTH OF A PRECAST INLET EXCEEDS 10 FEET AS MEASURED FROM TOP OF GRADE TO INVERT, THE FOUNDATION SHALL BE INCREASED TO 12 INCHES. WHEN ROCK IS ENCOUNTERED, THE DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED.
- MINIMUM WALL REINFORCEMENT FOR PRECAST INLETS TYPES A, B, C, E, D-1, AND B MODIFIED:

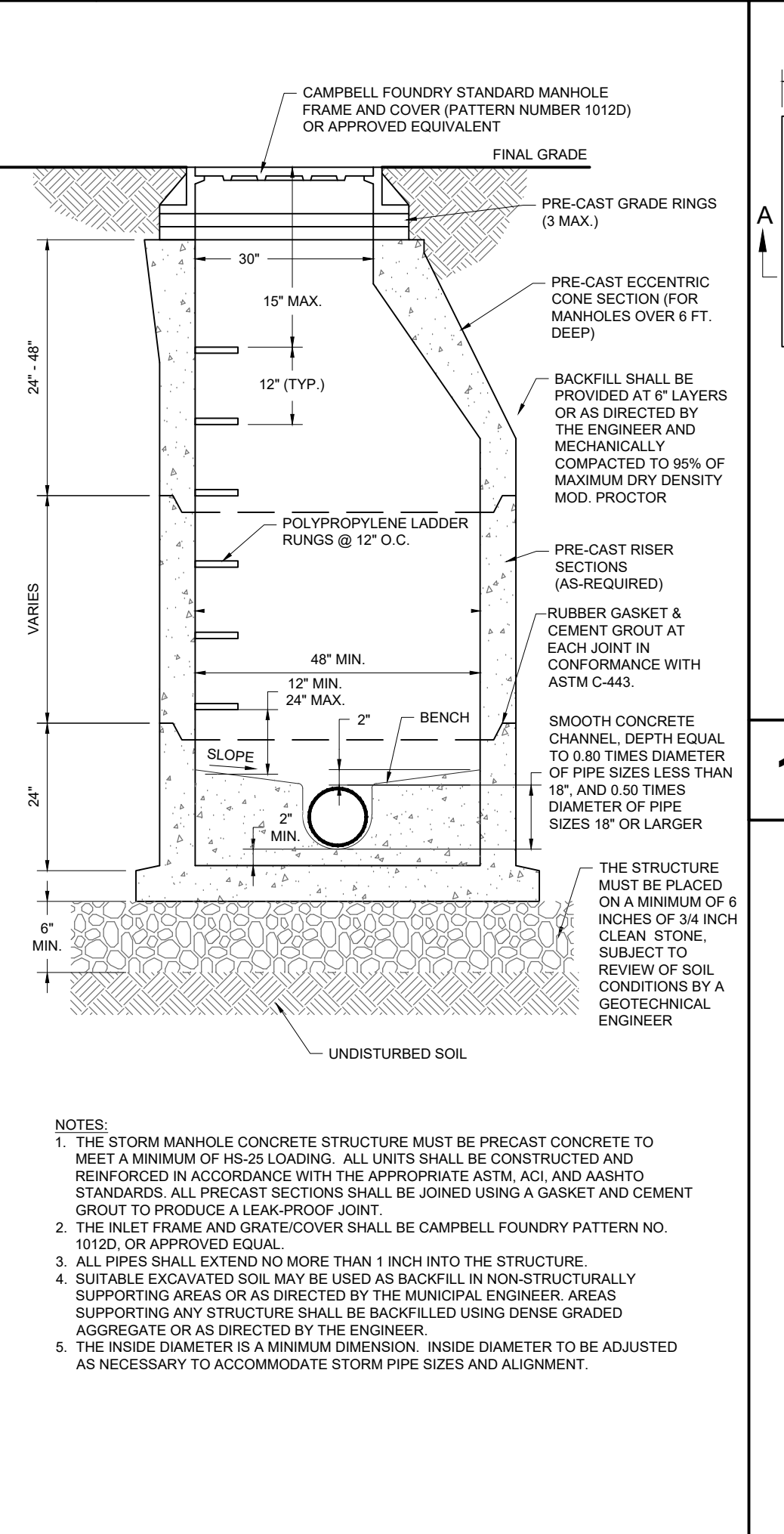
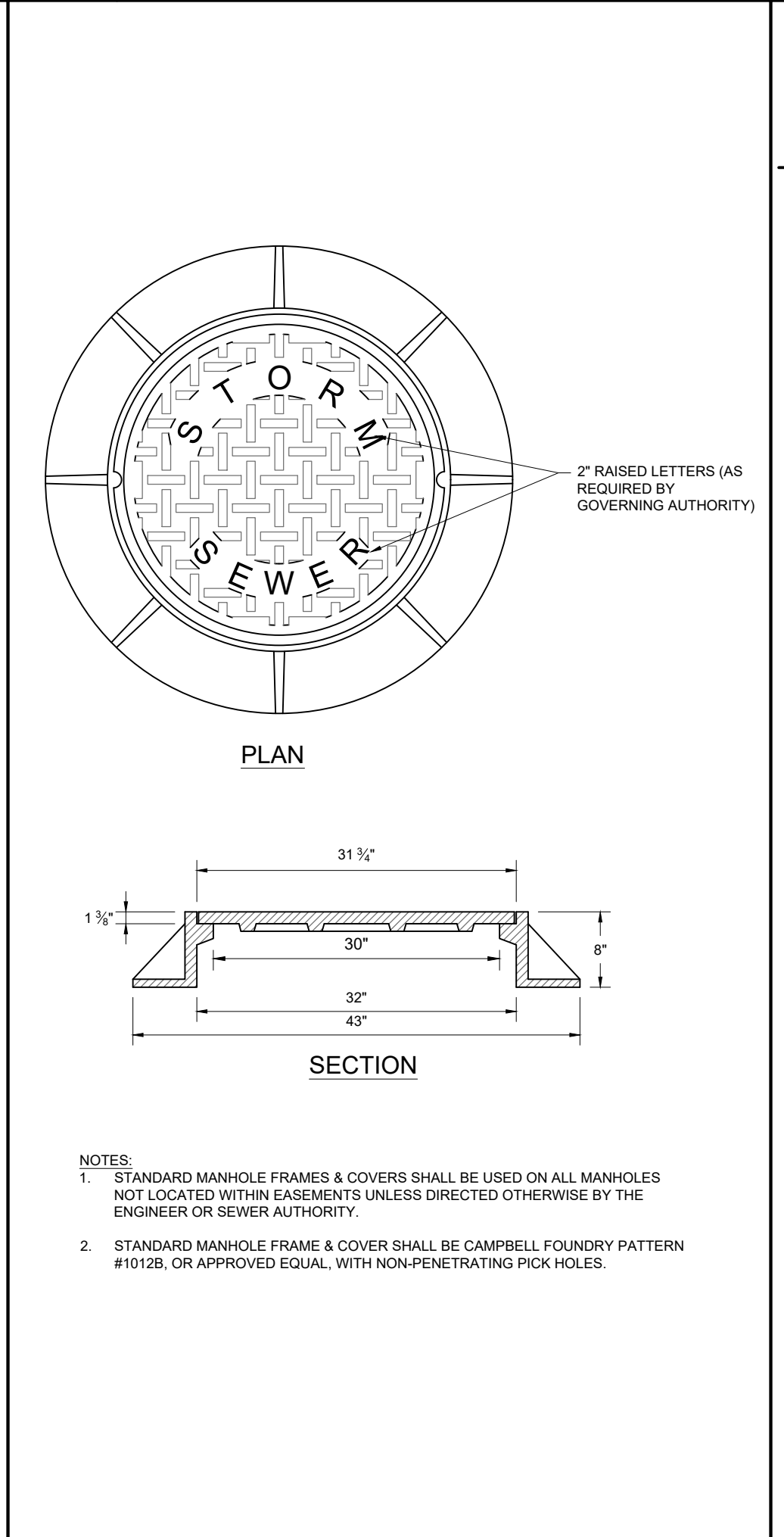
DEPTH BELOW TOP OF GRADE	HORIZONTAL REINF.	VERTICAL REINF.	WALL THK.
0' TO 10'-0"	#4 @ 18" C.C.	#4 @ 18" C.C.	6"
10'-1" TO 15'-0"	#4 @ 8" C.C.	#4 @ 18" C.C.	6"
15'-1" TO 20'-0"	#4 @ 6" C.C.	#4 @ 18" C.C.	6"

REINFORCING SHOWN FOR PRECAST INLETS IS THE MINIMUM REQUIRED. ADDITIONAL REINFORCING FOR HANDLING IS THE RESPONSIBILITY OF THE CONTRACTOR.

ALTERNATE REINFORCEMENT

DEPTH BELOW TOP OF GRADE	REINFORCEMENT
0' TO 10'-0"	WWF 3X6 W6 WIRES SPACED AT 3" TO RUN HORIZONTAL IN ALL CASES.
10'-1" TO 15'-0"	WWF 3X6 W6 ADD #10 BAR @ 18" HORIZONTAL.
15'-1" TO 20'-0"	WWF 3X6 ADD #10 BAR @ 9" HORIZONTAL OR ADD #13 BAR AT 15" HORIZONTAL.

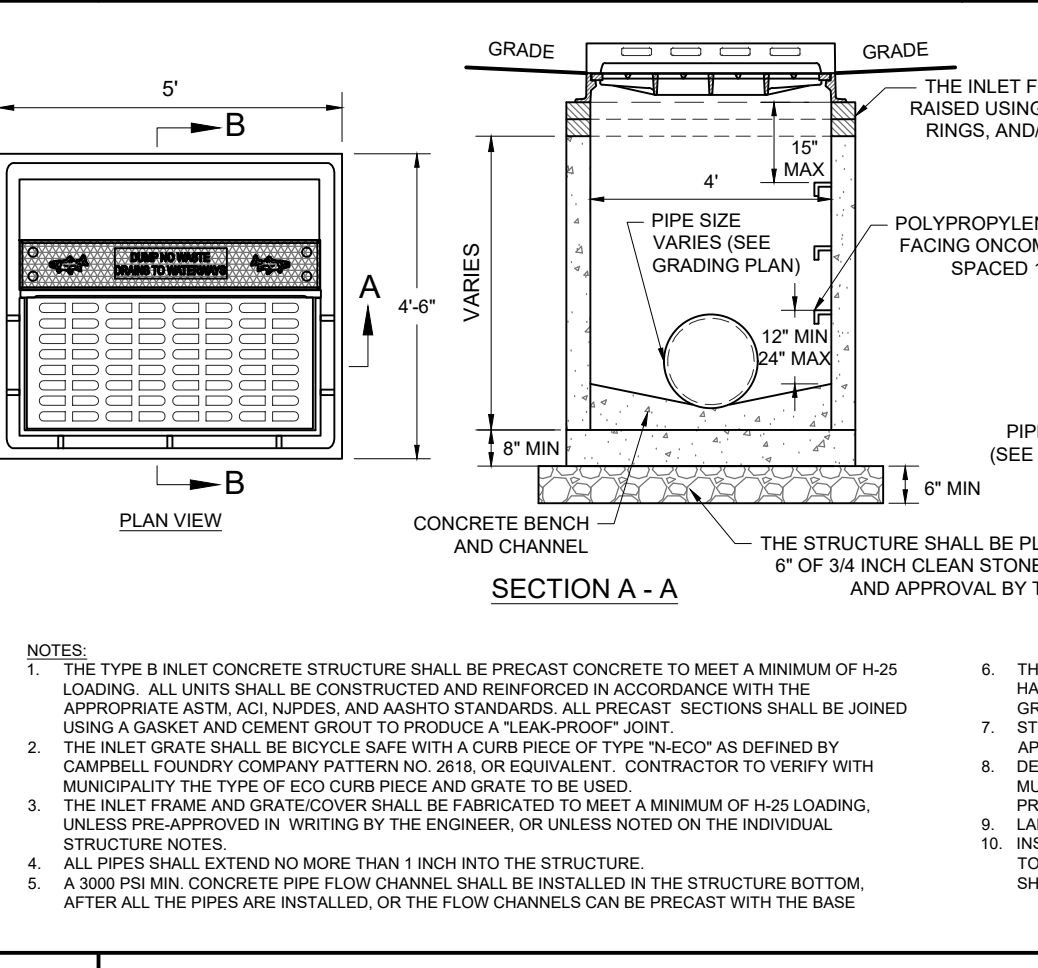
- ALL INLETS AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND ITS AMENDMENTS.
- FOR CAST IRON CLASS 30 B ONLY, ANY OTHER CLASS OF CAST IRON OR TYPE OF MATERIAL MUST BE ON THE BUREAU OF MATERIALS APPROVED PRODUCTS LIST OR NEW TECHNOLOGIES AND PRODUCTS APPROVED PRODUCTS LIST.
- ALL PIPES SHALL EXTEND NO MORE THAN 1 INCH INTO THE STRUCTURE.
- A 2500 PSI MIN. CONCRETE PIPE FLOW CHANNEL SHALL BE INSTALLED IN THE STRUCTURE BOTTOM. AFTER ALL THE PIPES ARE INSTALLED, OR THE FLOW CHANNELS CAN BE PRECAST WITH THE BASE.
- INSIDE DIMENSIONS OF STRUCTURES ARE NOMINAL AND ARE SUBJECT TO MODIFICATION BY PRECASTER AS NECESSARY TO ACCOMMODATE ACTUAL PIPE SIZES AND ALIGNMENT. STRUCTURES LARGER THAN THAT SHOWN SHALL HAVE A SLAB TOP WHICH SHALL MEET THE SAME LOADING REQUIREMENTS AS THE FRAME.



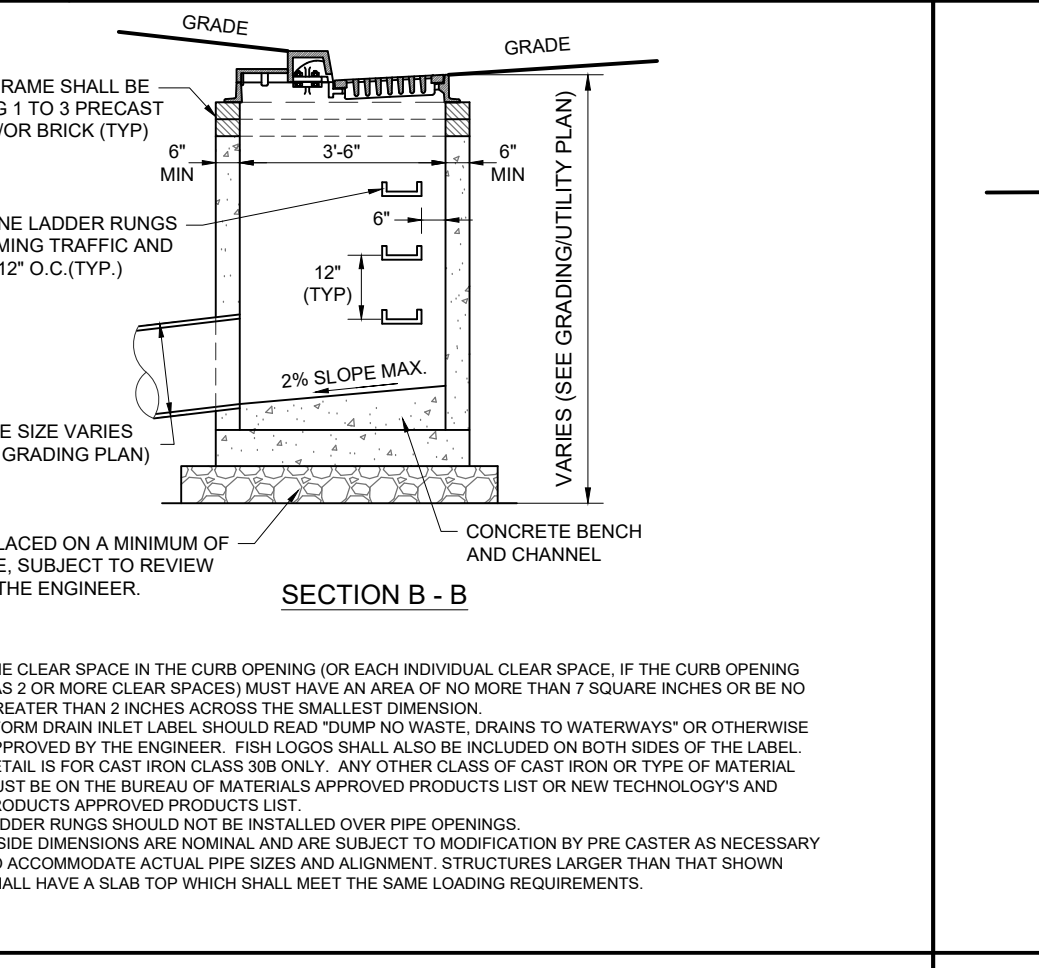
7 GENERAL INLET NOTES
NOT TO SCALE (G020001-01/2013)

8 STORM MANHOLE FRAME & COVER DETAIL
NOT TO SCALE (G020410-01/2013)

9 STORM MANHOLE DETAIL
NOT TO SCALE (G020407-04/2019)



10 TYPE 'B' INLET WITH ECO CURB PIECE DETAIL
NOT TO SCALE (G020308.01-01/2013)



11 ROOF DRAIN CLEANOUT LANDSCAPE AREAS DETAIL
NOT TO SCALE (G020110-01/2013)

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PROJECT NO.: J201001
DRAWN BY: AMD
CHECKED BY: TXL
DATE: 08/28/2021
CAD ID: J201001-COVR-1A

PRELIMINARY & FINAL SITE PLAN

FOR

933 ROUTE 22 WEST, LLC

PROPOSED
POPEYES RESTAURANT
WITH DRIVE-THRU
BLK: 158 | LOT: 9
933 N.J.S.H. ROUTE 22 WEST
BOROUGH OF NORTH PLAINFIELD
SOMERSET COUNTY, NEW JERSEY

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30 INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059
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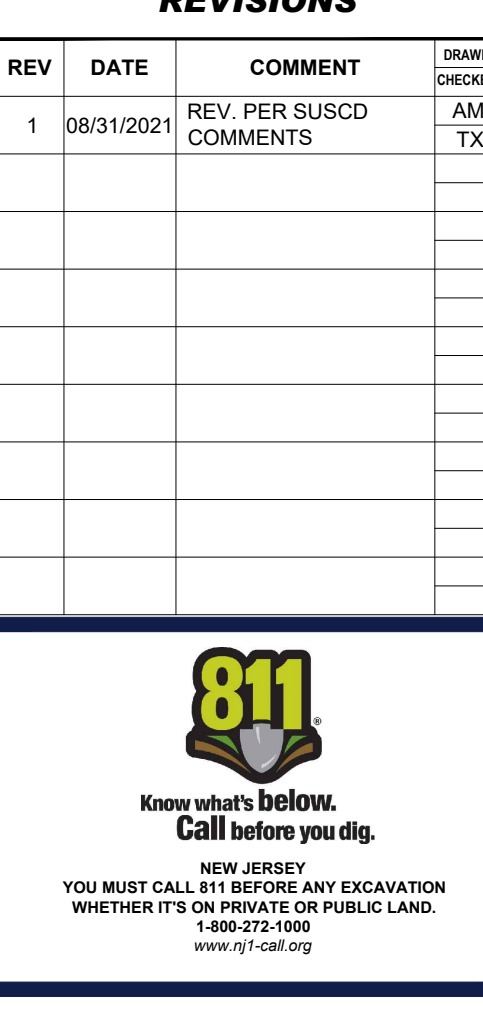
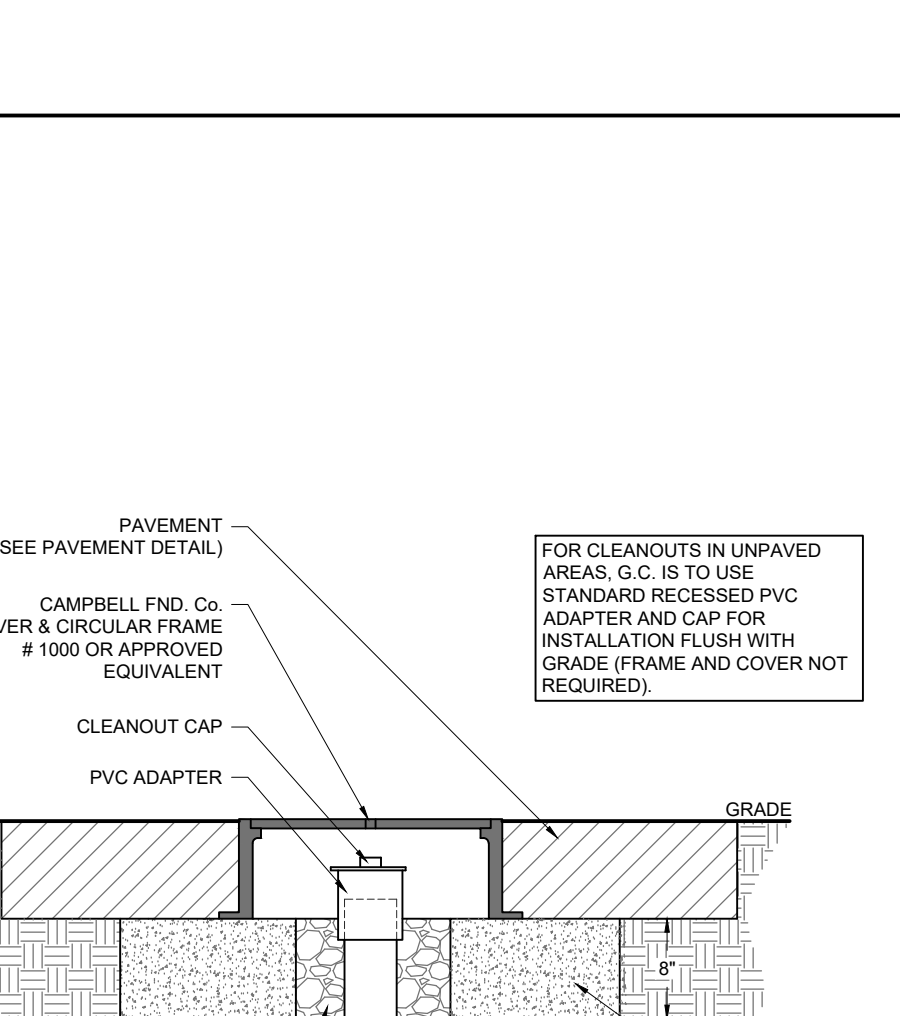
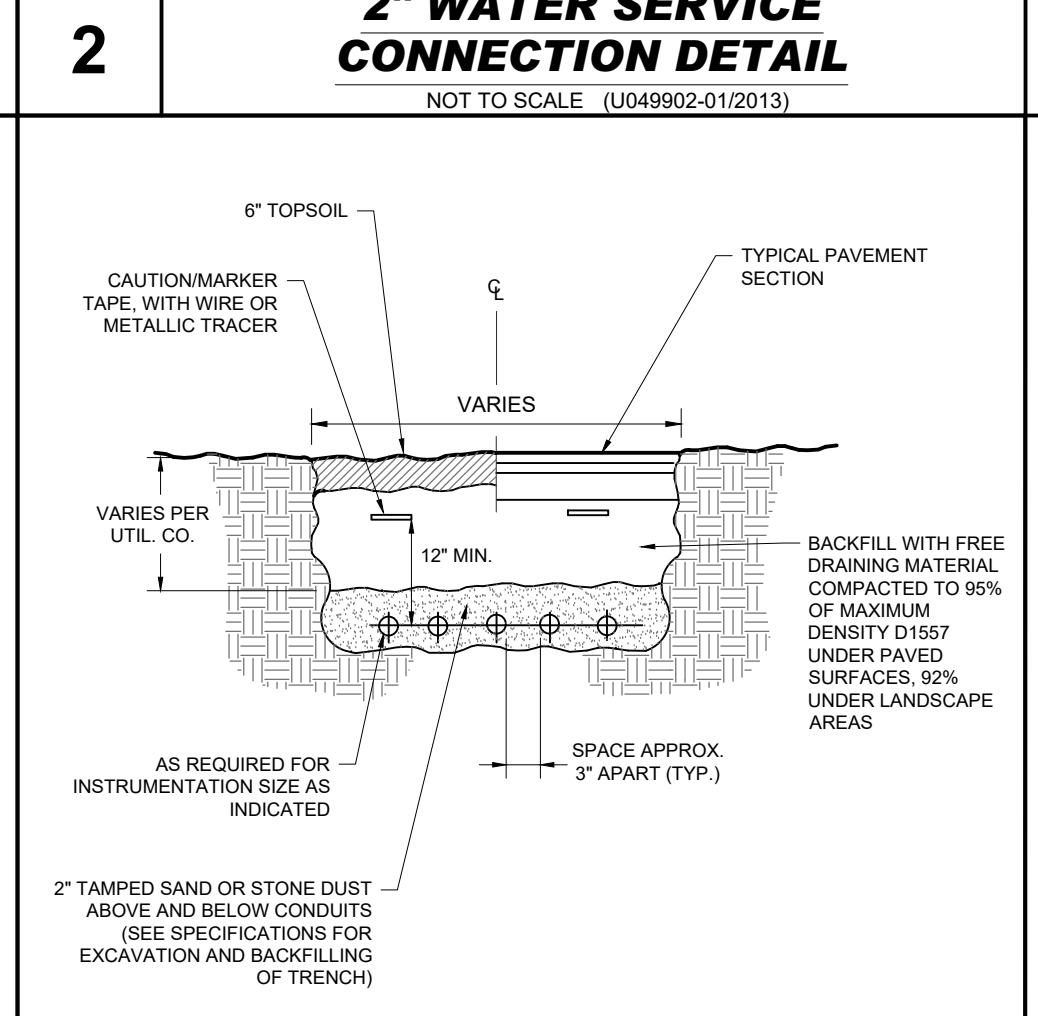
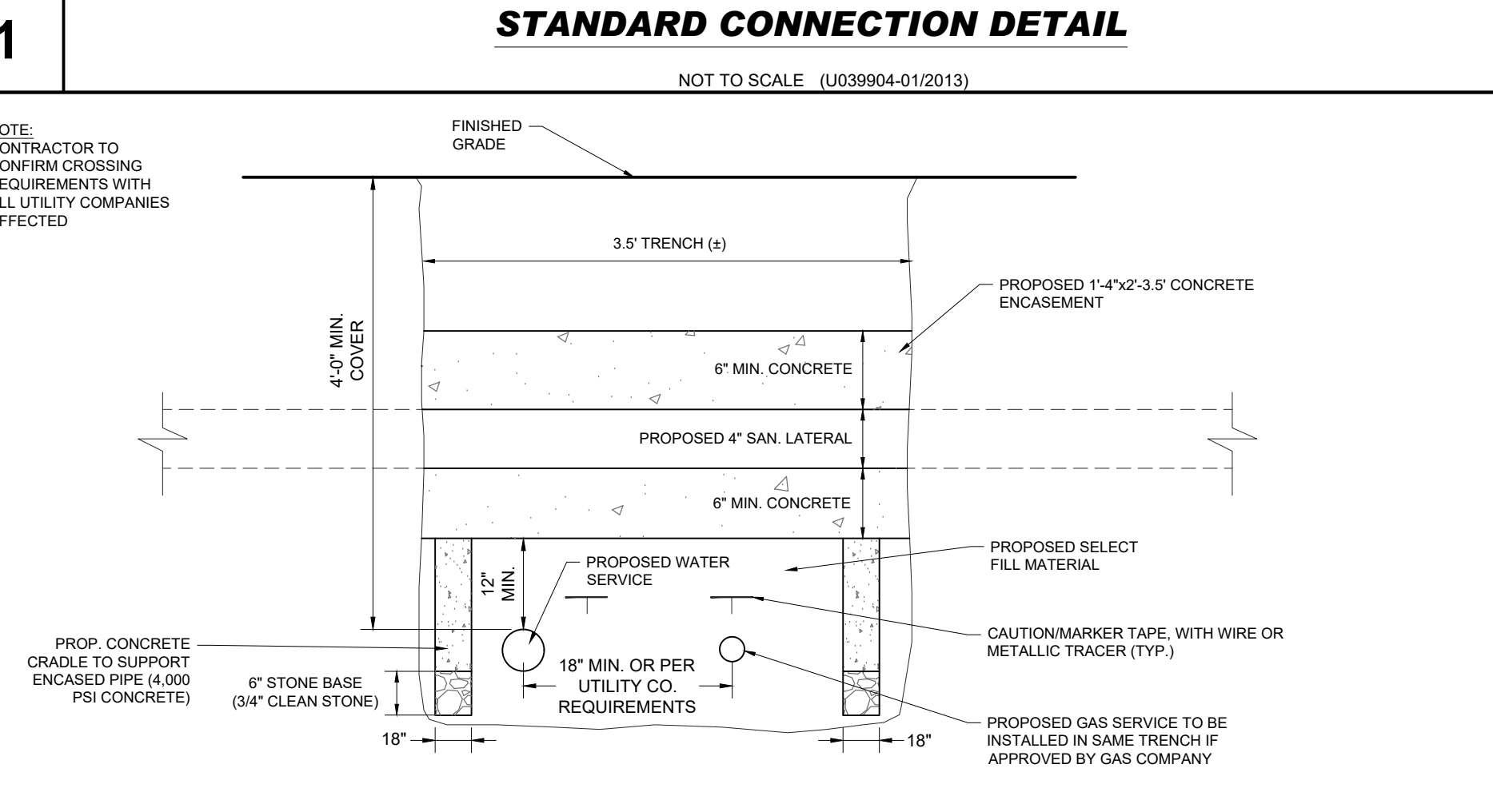
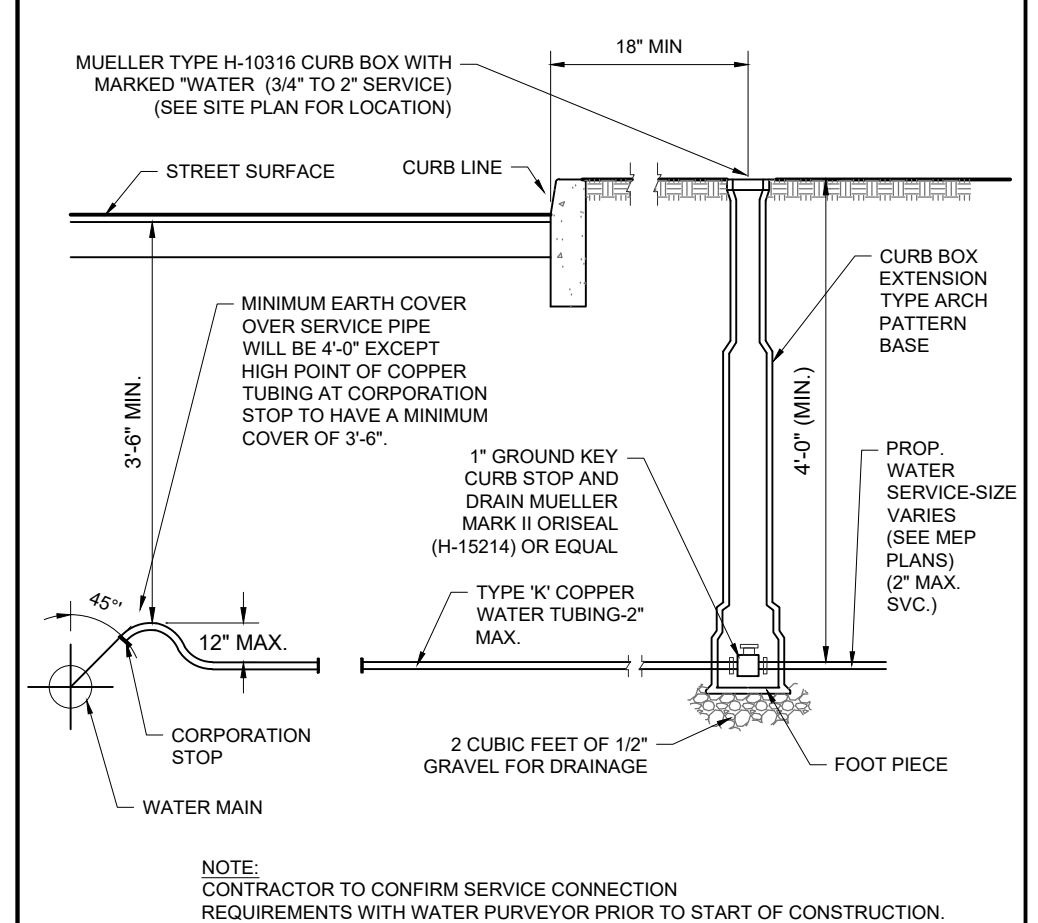
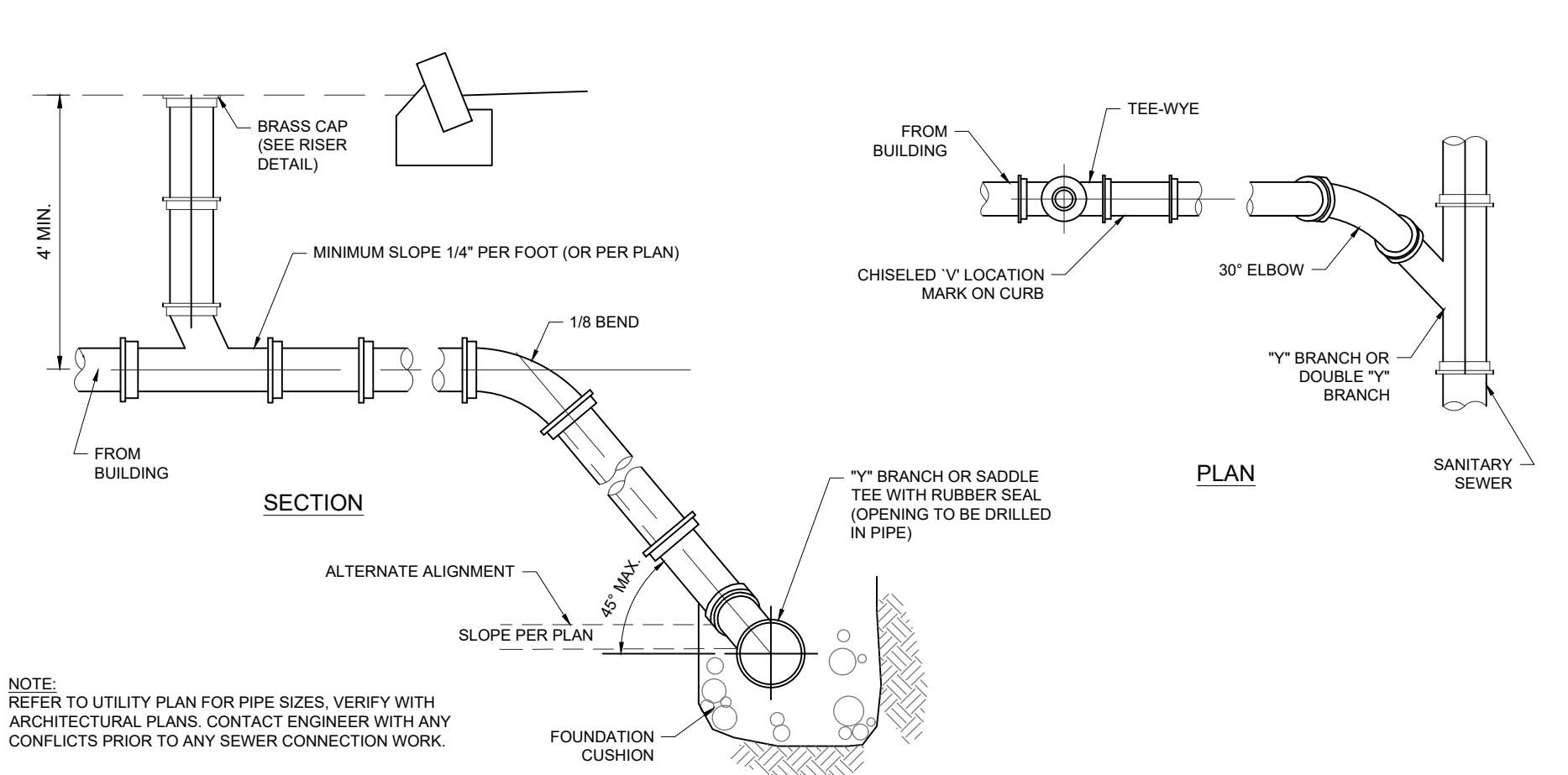
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SHEET TITLE:
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SHEET NUMBER:
C-902

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1

STANDARD CONNECTION DETAIL

NOT TO SCALE (U039904-01/2013)

2

2\"/>

NOT TO SCALE (U049902-01/2013)

3

UTILITY CROSSING DETAIL

NOT TO SCALE (U059901-01/2013)

4

UNDERGROUND UTILITY CONDUIT DETAIL

NOT TO SCALE (U039903-01/2013)

5

SEWER CLEANOUT WITHIN PAVED AREAS DETAIL

NOT TO SCALE (U030101-01/2013)

6

WET TAP DETAIL

NOT TO SCALE (U049907-01/2013)

7

SANITARY TRENCH DETAIL

NOT TO SCALE (U039908-04/2019)

8

DROP CLEANOUT DETAIL

NOT TO SCALE (U030103-01/2013)

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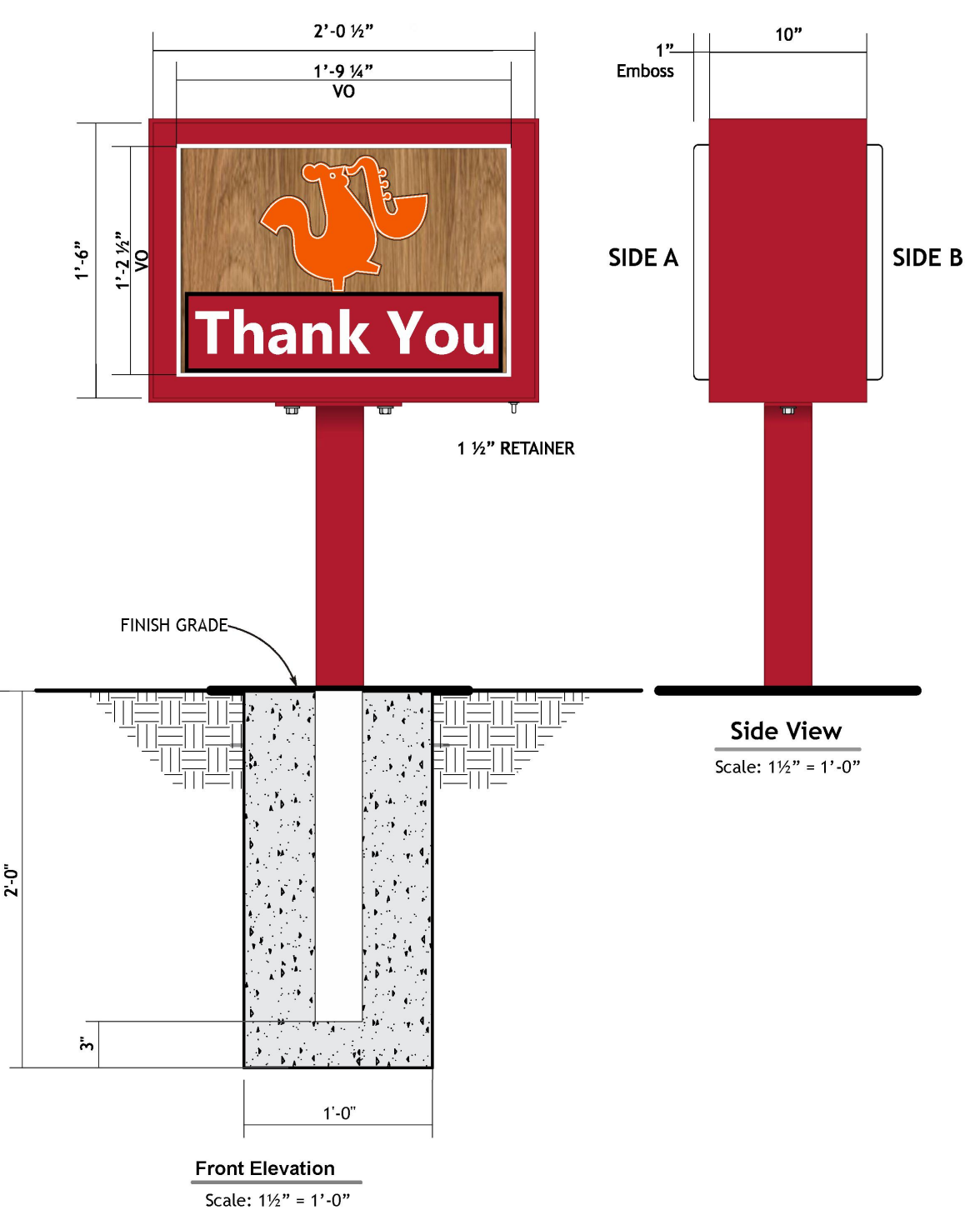
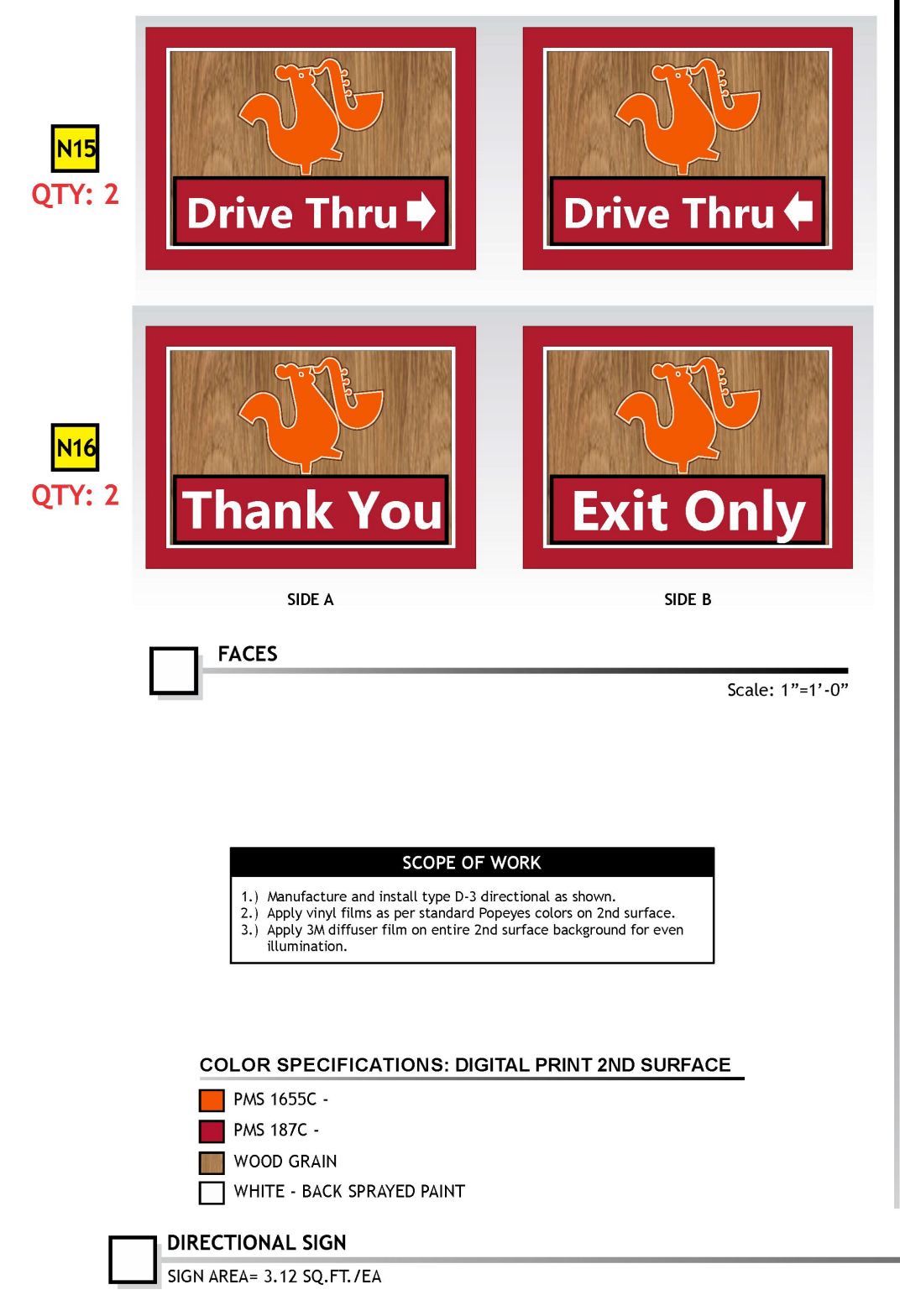
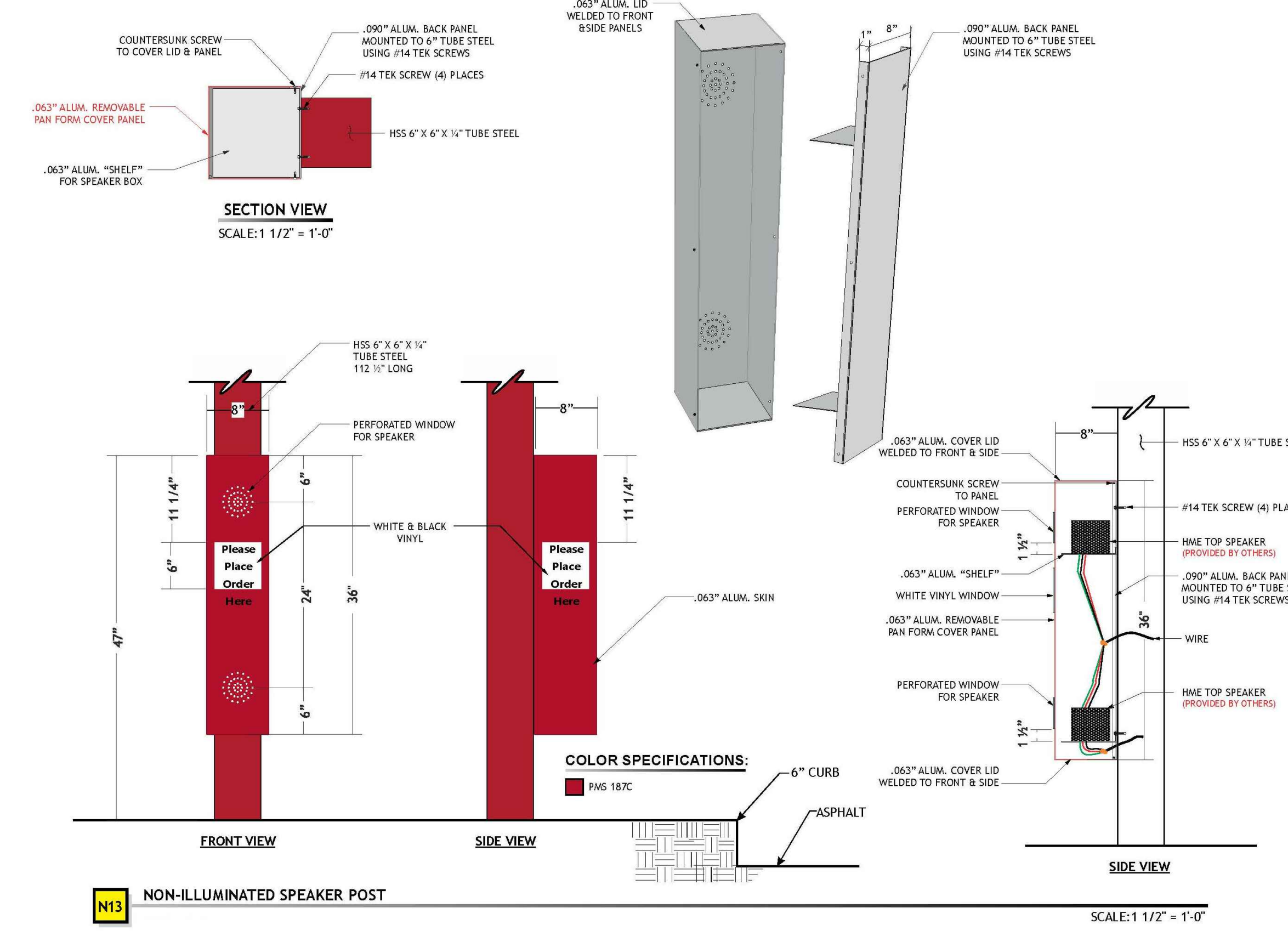
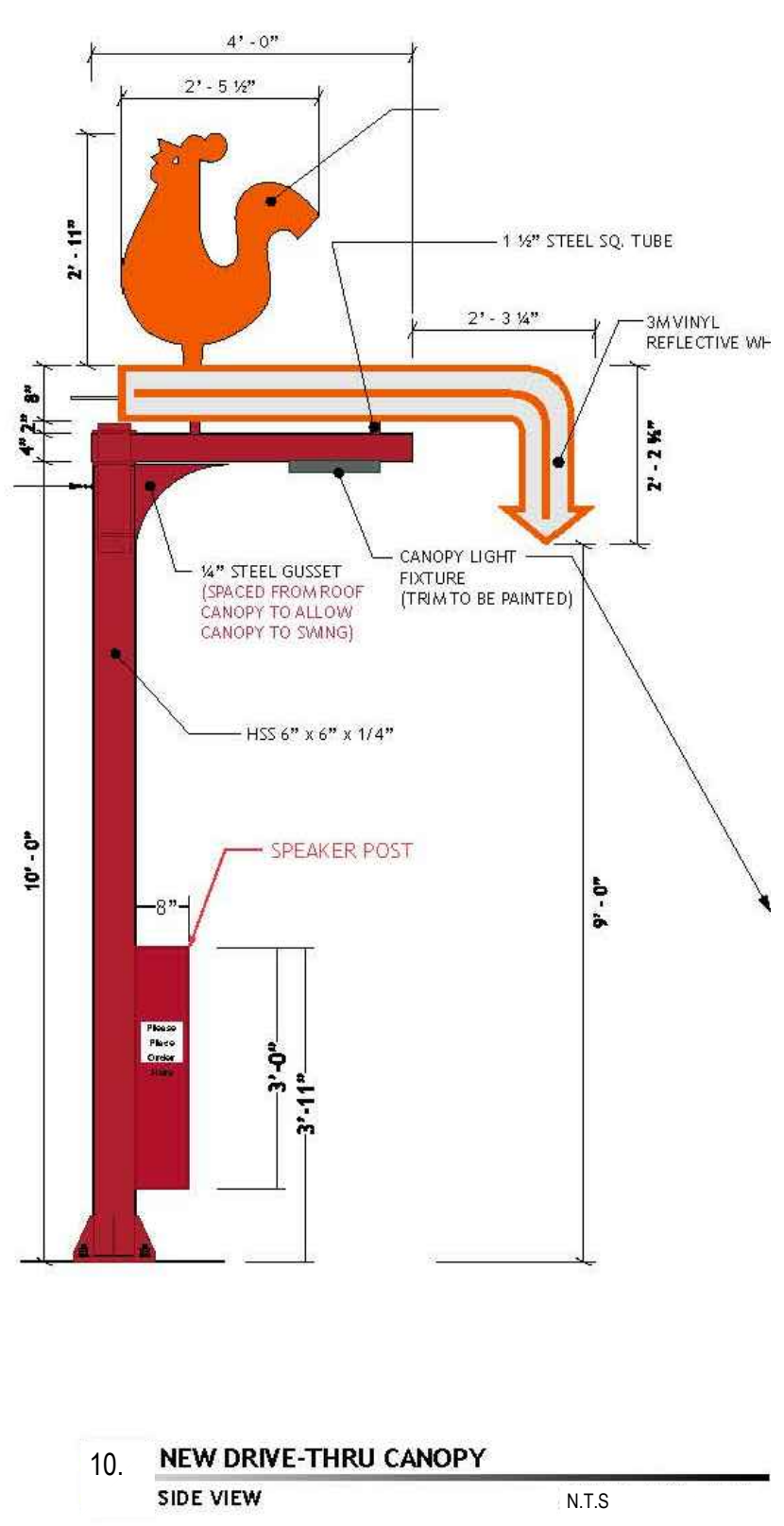
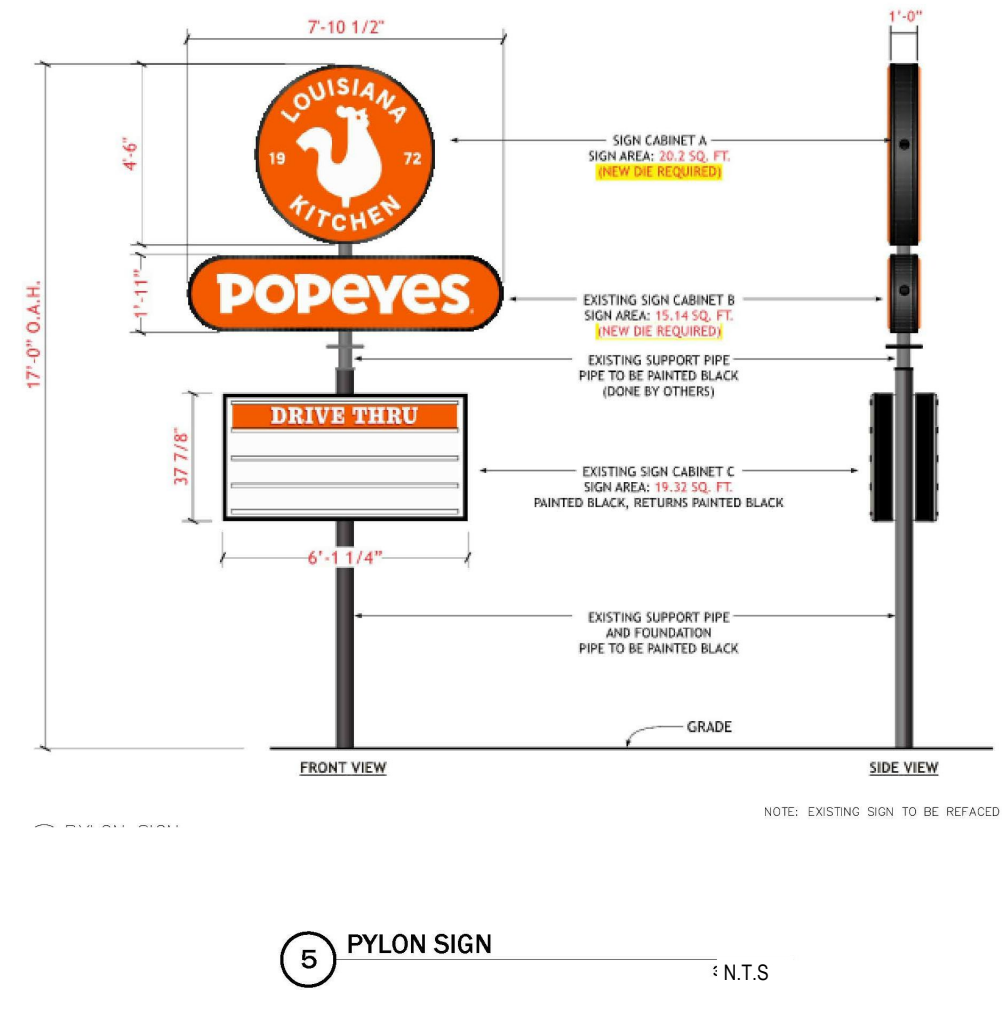
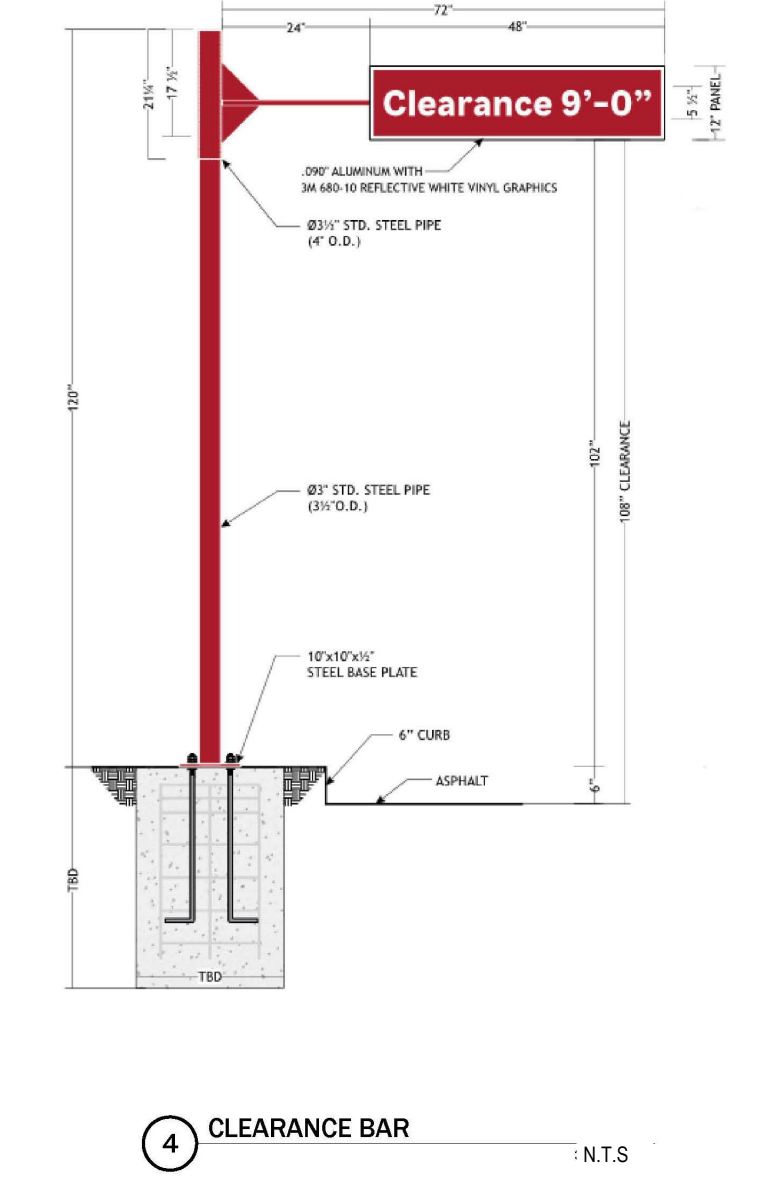
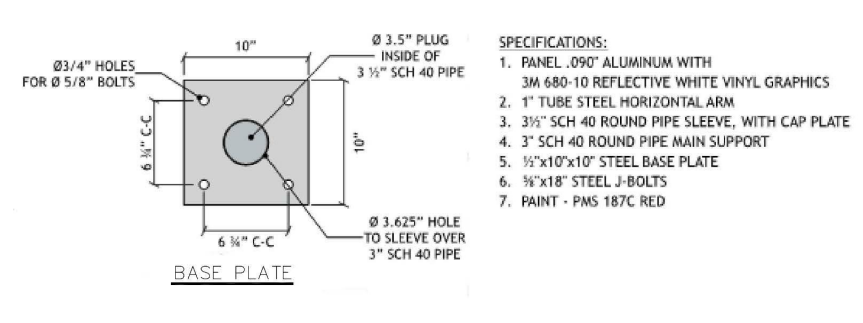
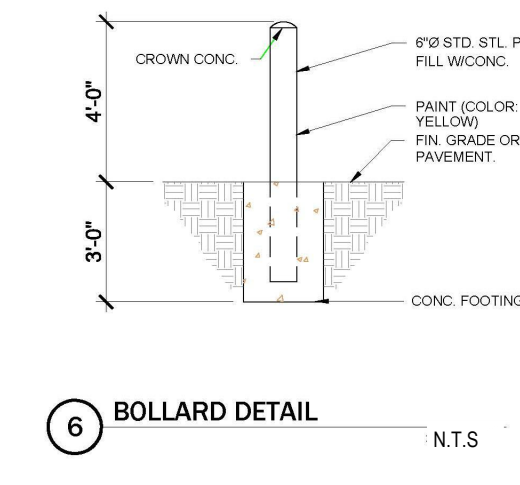
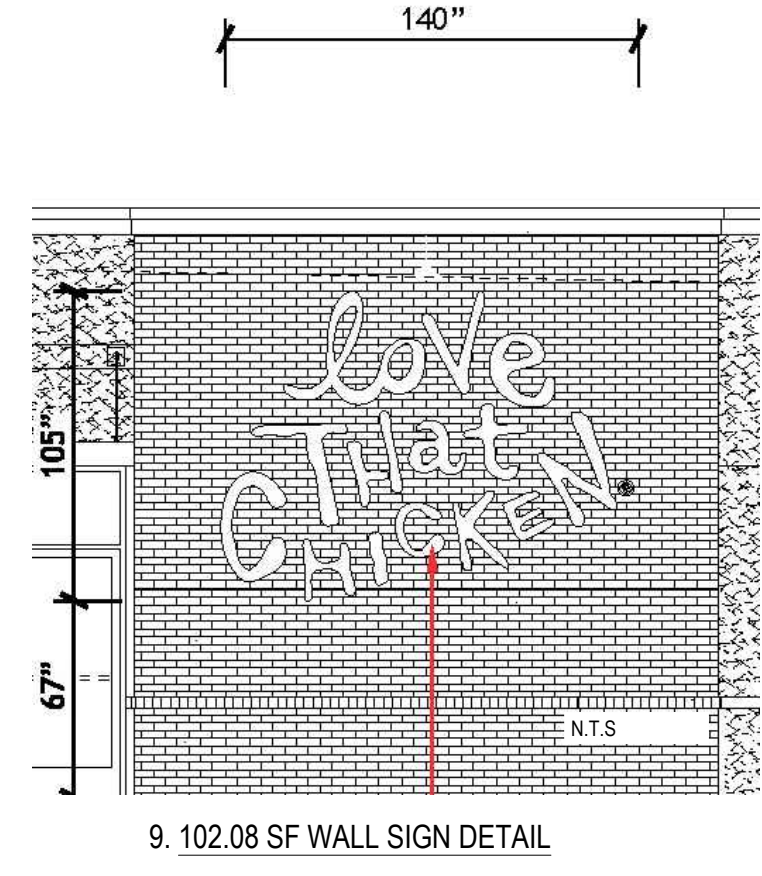
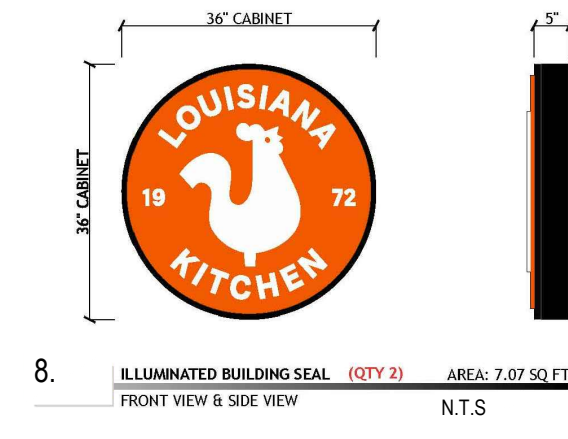
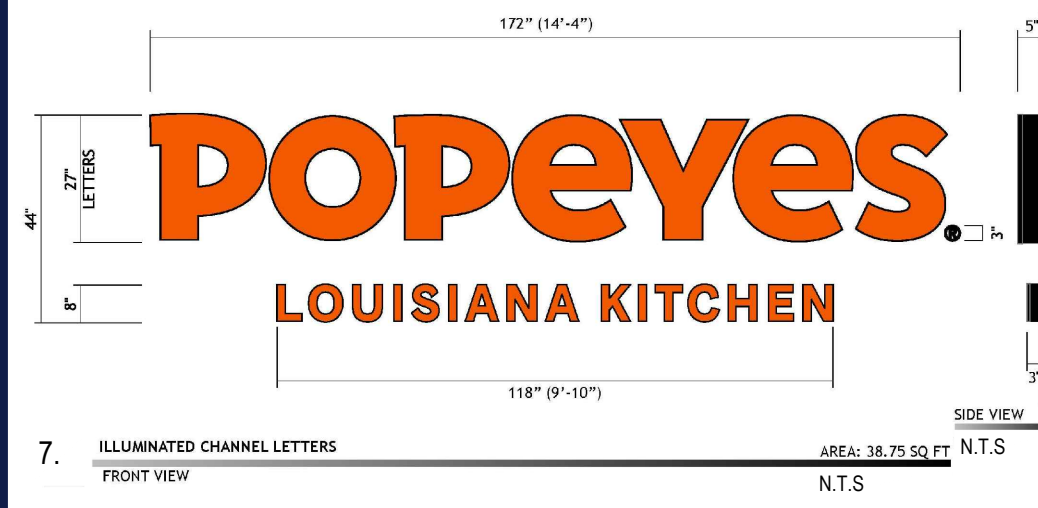
PROJECT:
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 FOR
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 PROPOSED POPEYES RESTAURANT WITH DRIVE-THRU
 BLK: 158 | LOT: 9
 933 N.J.S.H. ROUTE 22 WEST
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DATE: 08/28/2021
CAD LD.: J201001-COVR-1A

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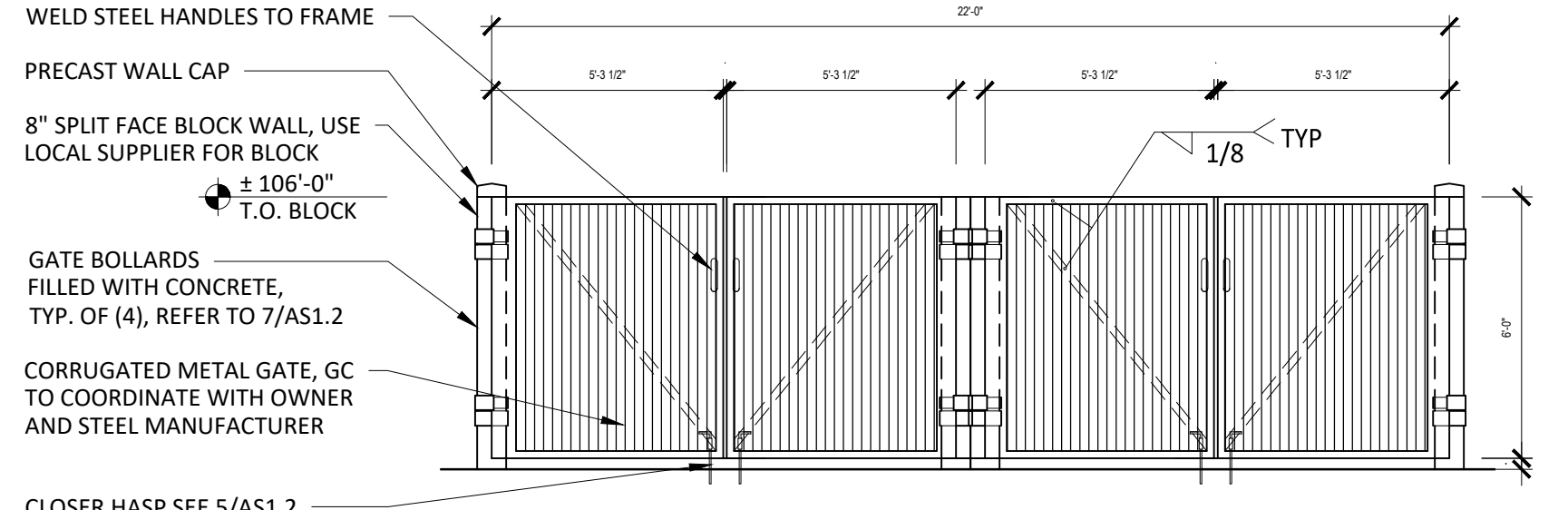
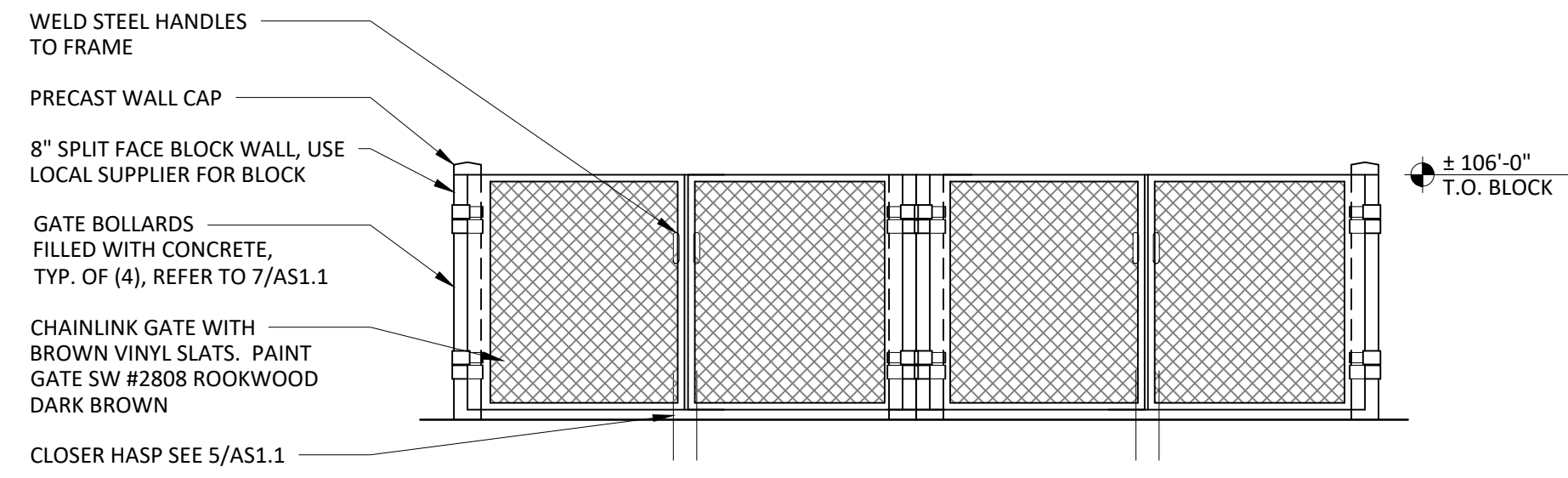
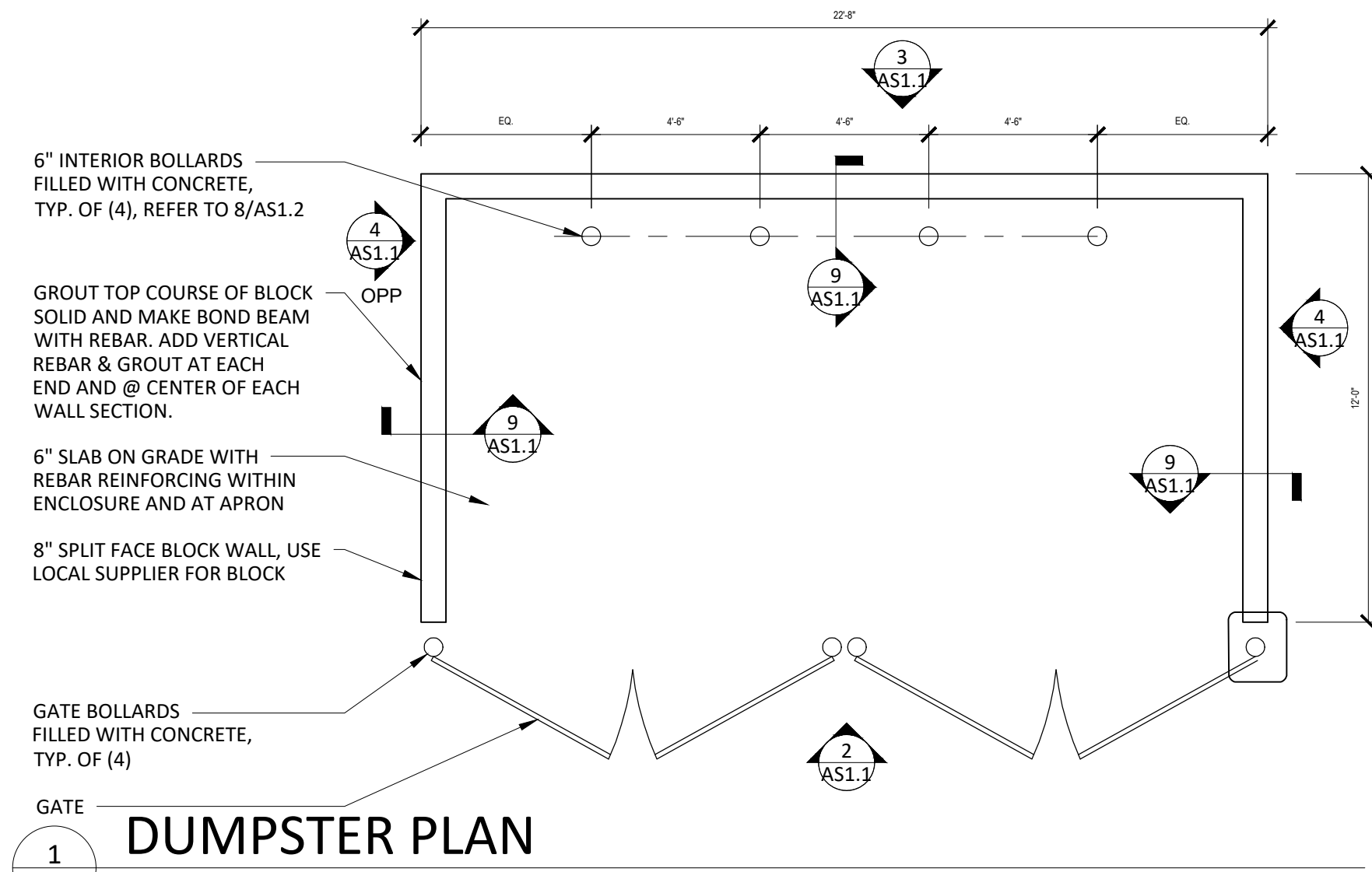
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DETAIL SHEET

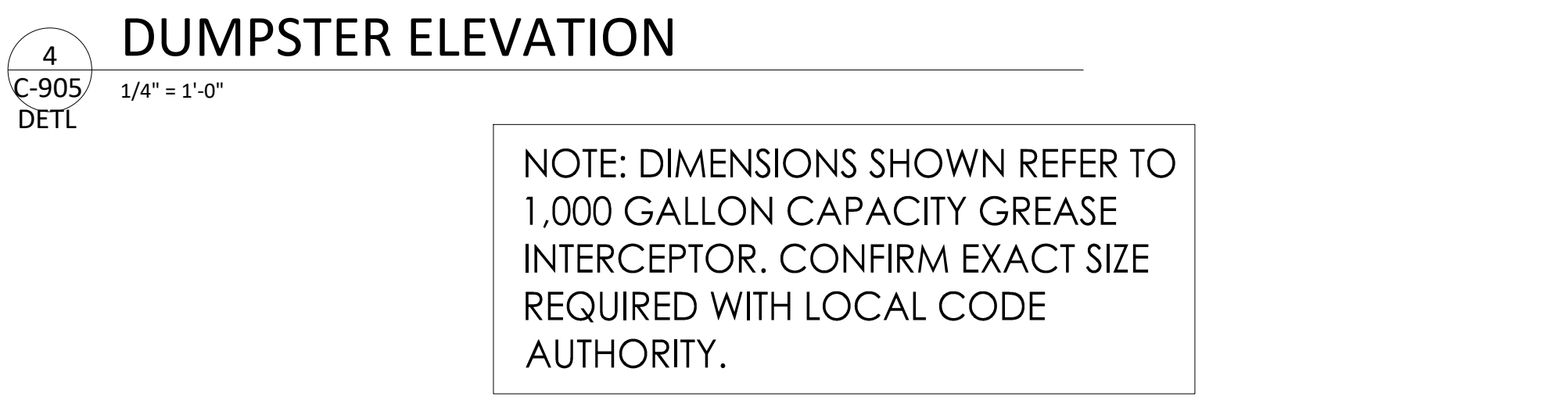
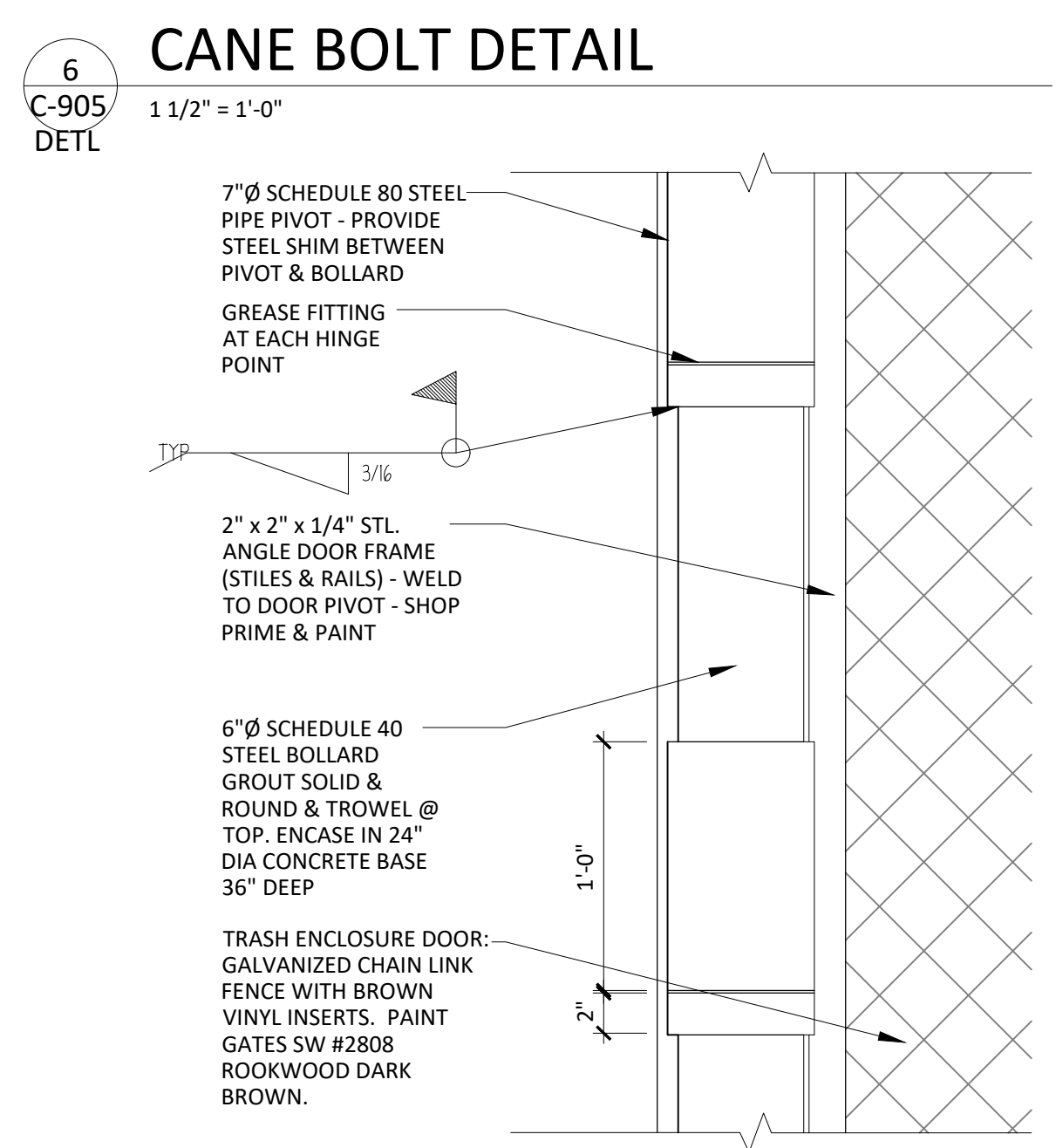
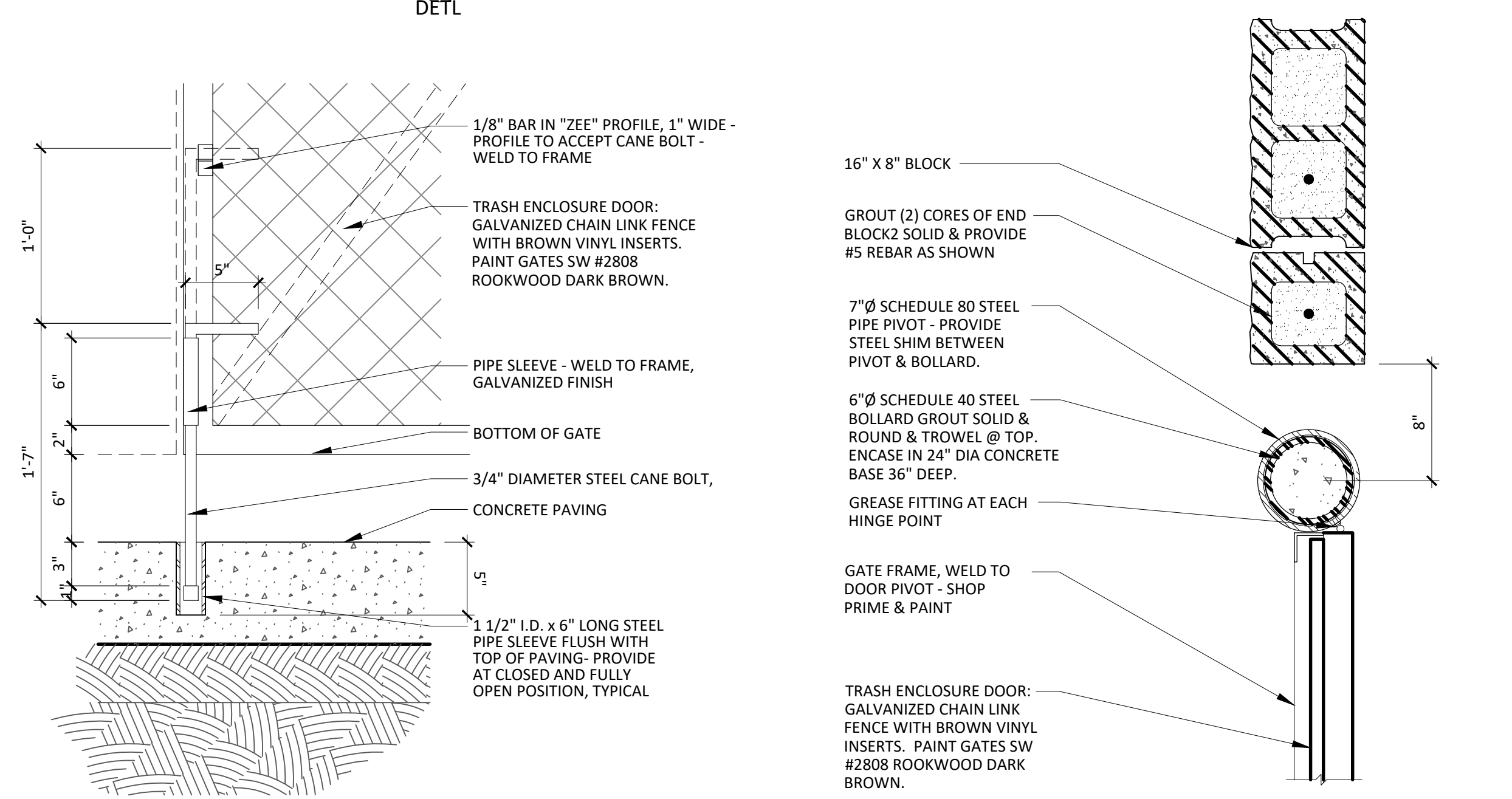
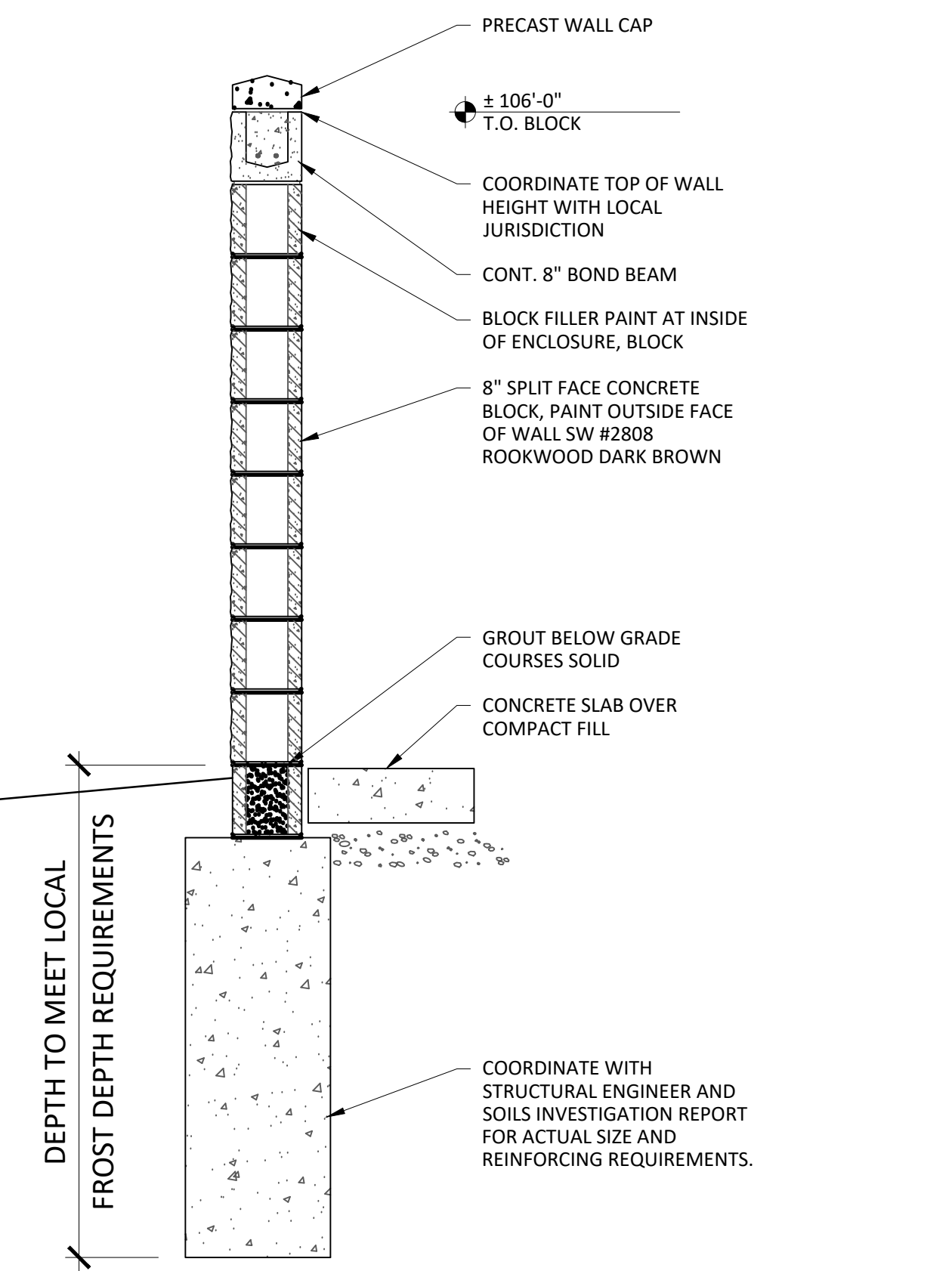
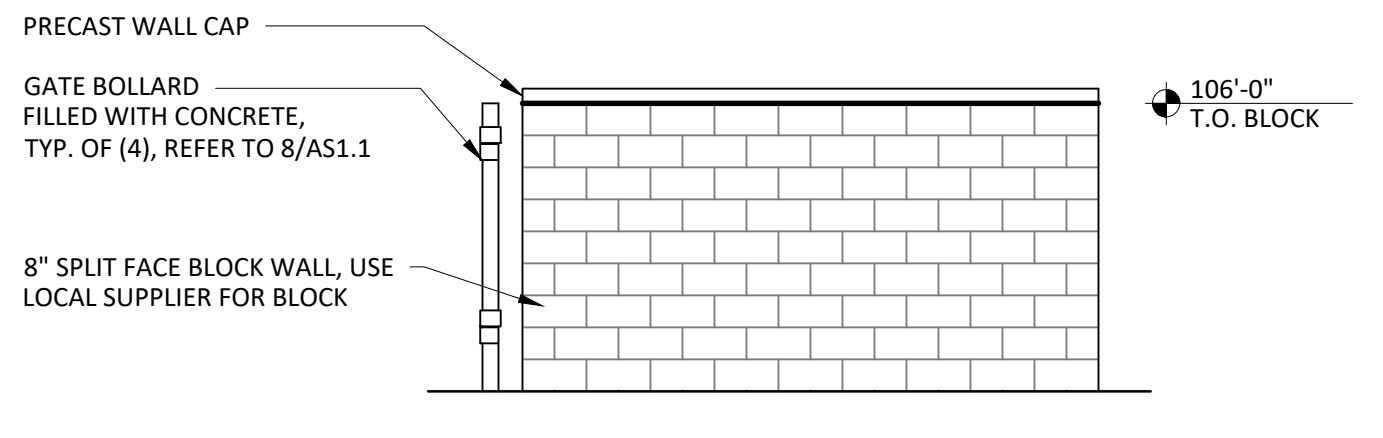
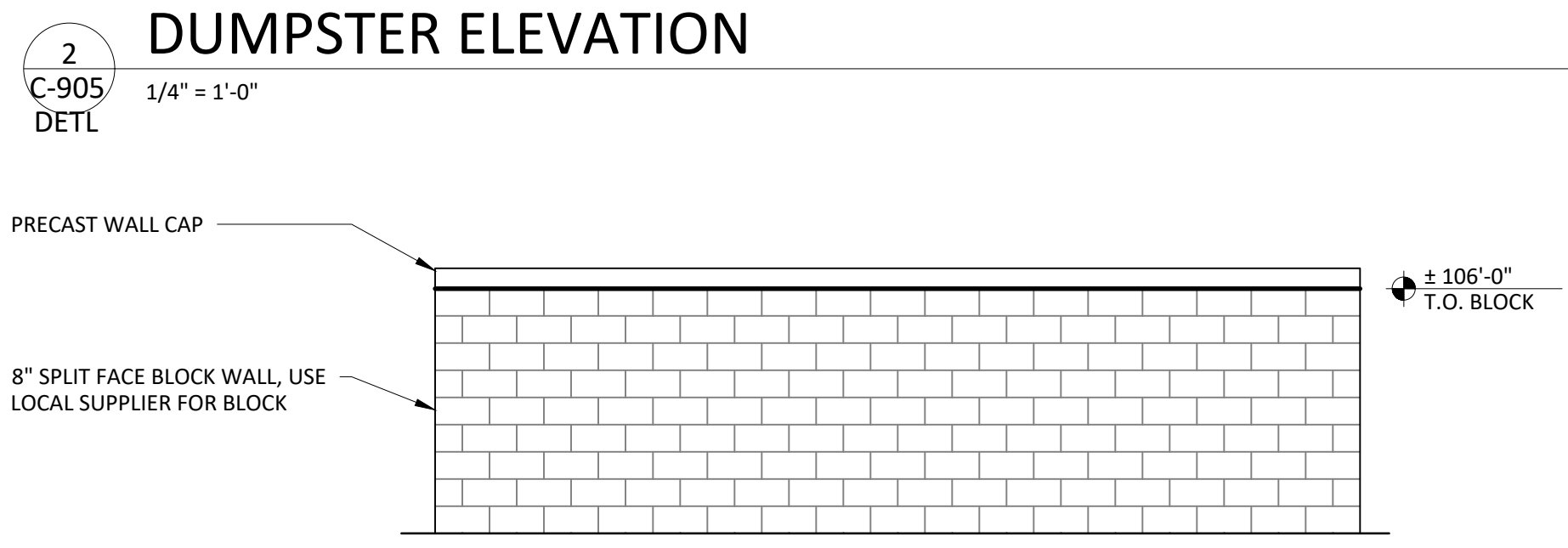
SHEET NUMBER:
C-904

REVISION 1 - 08/31/2021



GENERAL NOTES

A. THESE ARE TYPICAL SITE DETAILS. ALL PROJECT SPECIFIC INFORMATION NEEDS TO BE COORDINATED WITH THE G.C., CIVIL ENGINEER, OWNER AND THE SOILS INVESTIGATION REPORT.



- GREASE INTERCEPTOR NOTES:**
- CONSTRUCTION AND INSTALLATION OF GREASE INTERCEPTOR MUST COMPLY WITH THE REQUIREMENTS OF THE LOCAL CODE AUTHORITY.
 - ALL CONCRETE SHALL BE CLASS "C" 3000 PSI @ 28 DAYS REINFORCED WITH 6 X 6 (10 GA X 10 GA) WELDED WIRE MESH AND #3 REINFORCING BARS.
 - EXCAVATION FOR TANK MUST BE COMPLETELY LEVEL AND FREE OF ROCKS OR DEBRIS. PROVIDE 1" TO 2" OF GRAVEL TO LEVEL THE HOLE.
 - INLET AND OUTLET OPENINGS SHALL BE PROVIDED WITH ADJUSTABLE NEOPRENE GASKETS (POLYLOCK PIPE SEAL).
 - ALL INLET, OUTLET AND INTERNAL PIPING SHALL BE PVC SDR 35 GRAVITY SEWER PIPE.
 - ALL PIPING SHALL BE THE RESPONSIBILITY OF PLUMBING CONTRACTOR.
 - PROVIDE TRAFFIC BEARING MANHOLE EXTENSIONS TO GRADE AS REQUIRED.
 - SIZING AND DIMENSIONAL DATA IS BASED ON A 1,000 GALLON CAPACITY GREASE INTERCEPTOR AND IS DIAGRAMMATIC. CONSULT WITH ACTUAL MANUFACTURER FOR EXACT DIMENSIONS AND FIELD EXCAVATION REQUIREMENTS.

REVISIONS

REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	08/31/2021	REV. PER SUSDCD COMMENTS	AMD	TXL

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PROJECT NO.: J201001
DRAWN BY: AMD
CHECKED BY: TXL
DATE: 08/28/2021
CAD ID: J201001-COVR-1A

PRELIMINARY & FINAL SITE PLAN

FOR

933 ROUTE 22 WEST, LLC

PROPOSED POPEYES RESTAURANT WITH DRIVE-THRU
BLK: 158 | LOT: 9
933 N.J.S.H. ROUTE 22 WEST
BOROUGH OF NORTH PLAINFIELD
SOMERSET COUNTY, NEW JERSEY

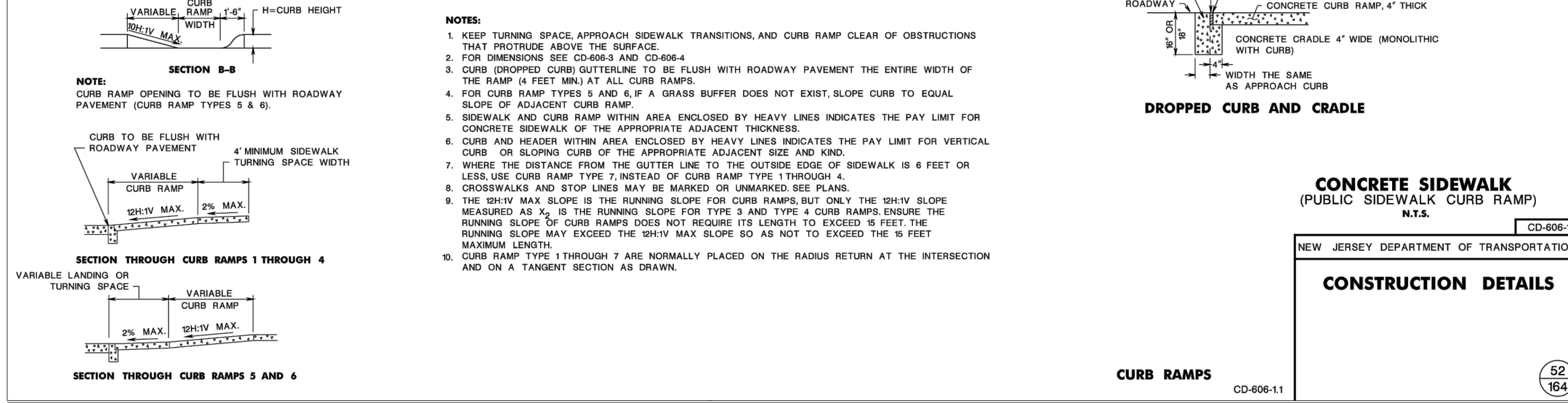
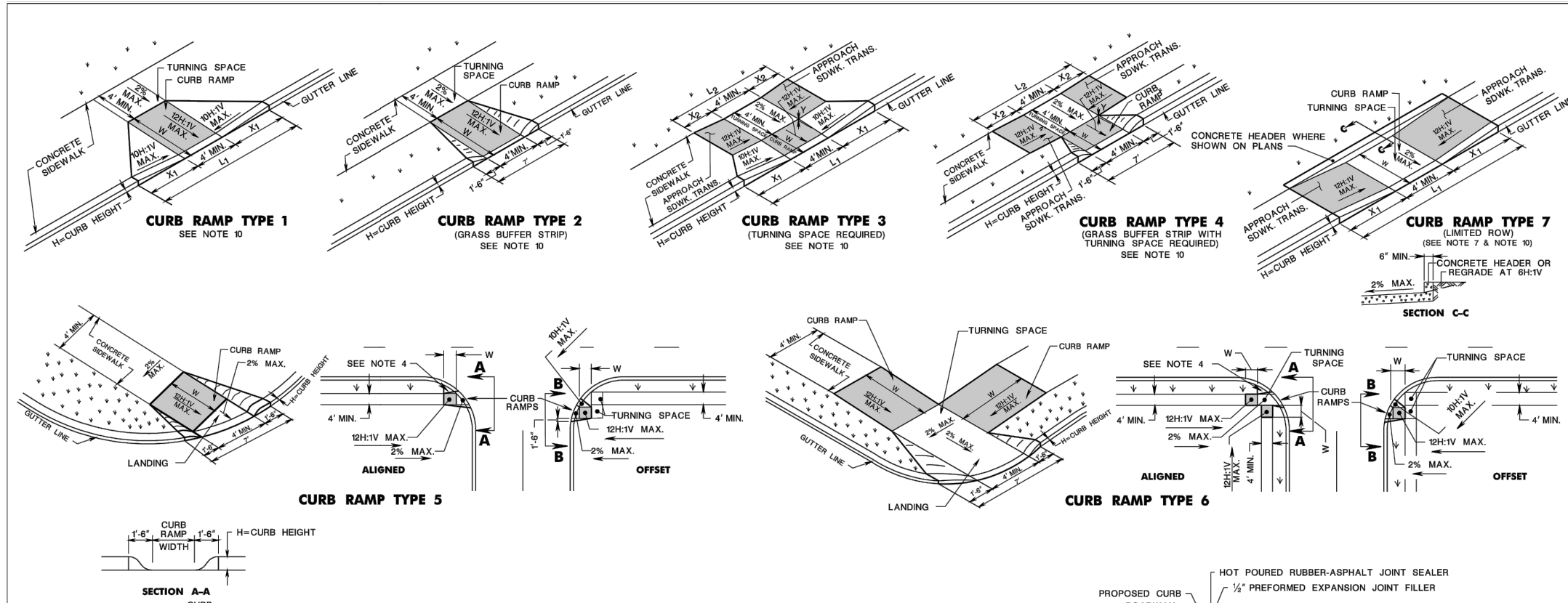
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BOHLER ENGINEERING NJ, LLC
30 INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059
Phone: (908) 665-6300
Fax: (908) 764-4401
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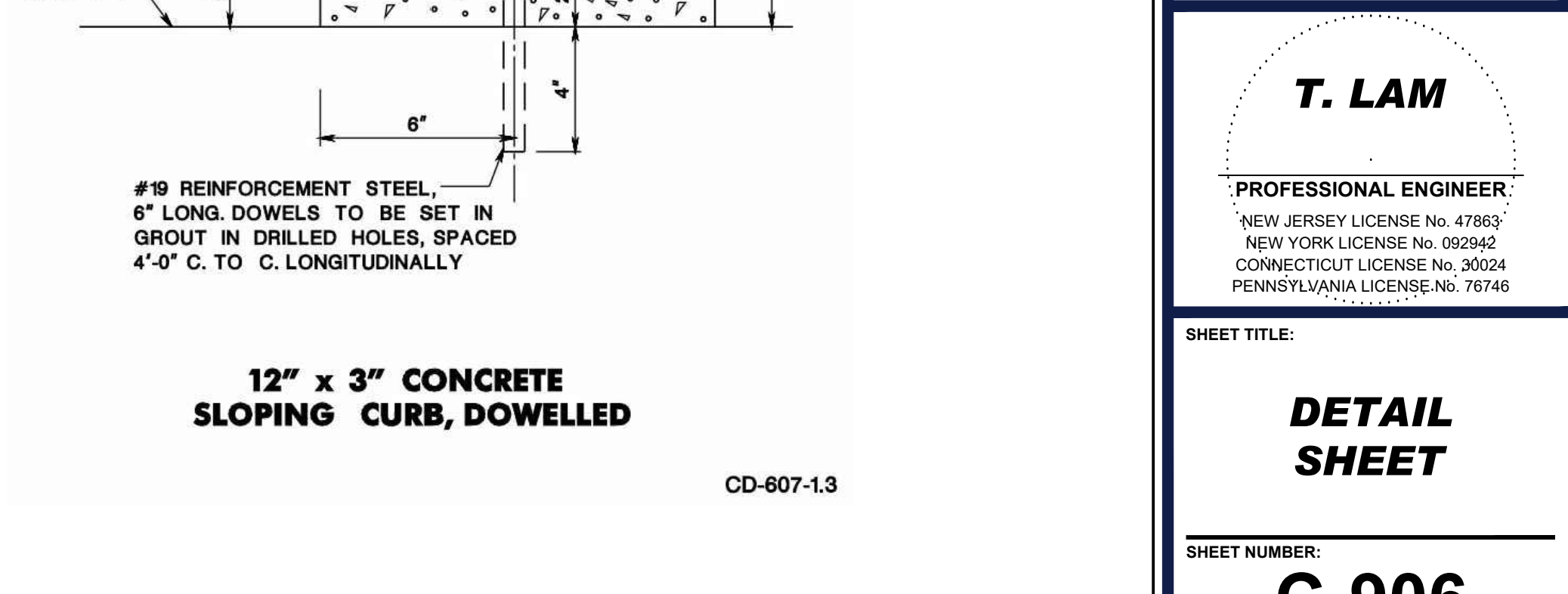
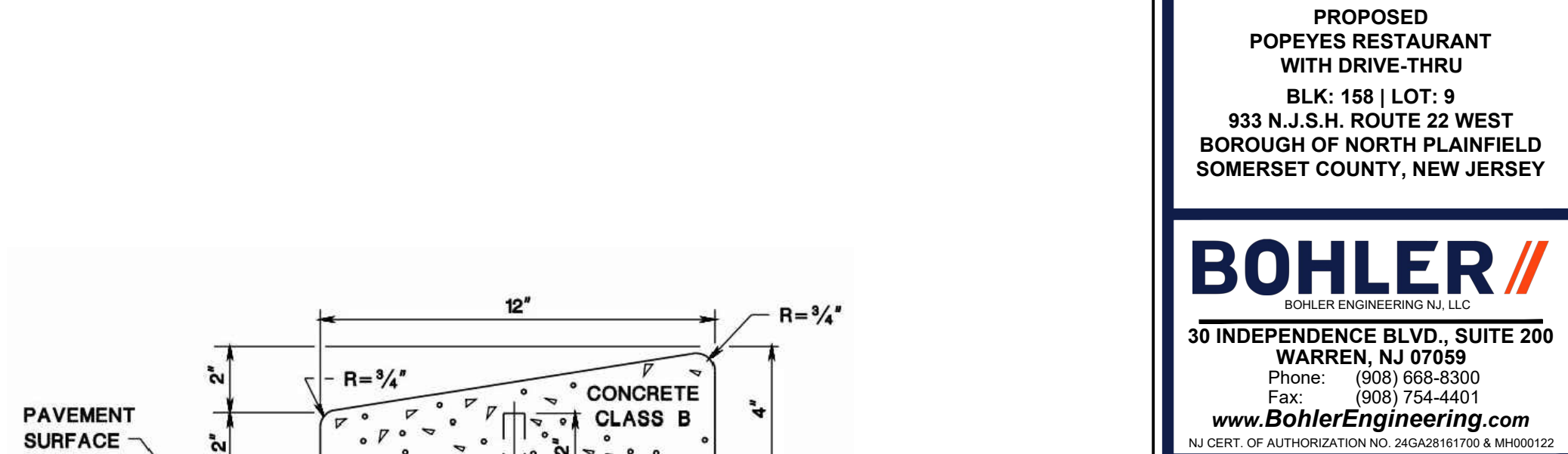
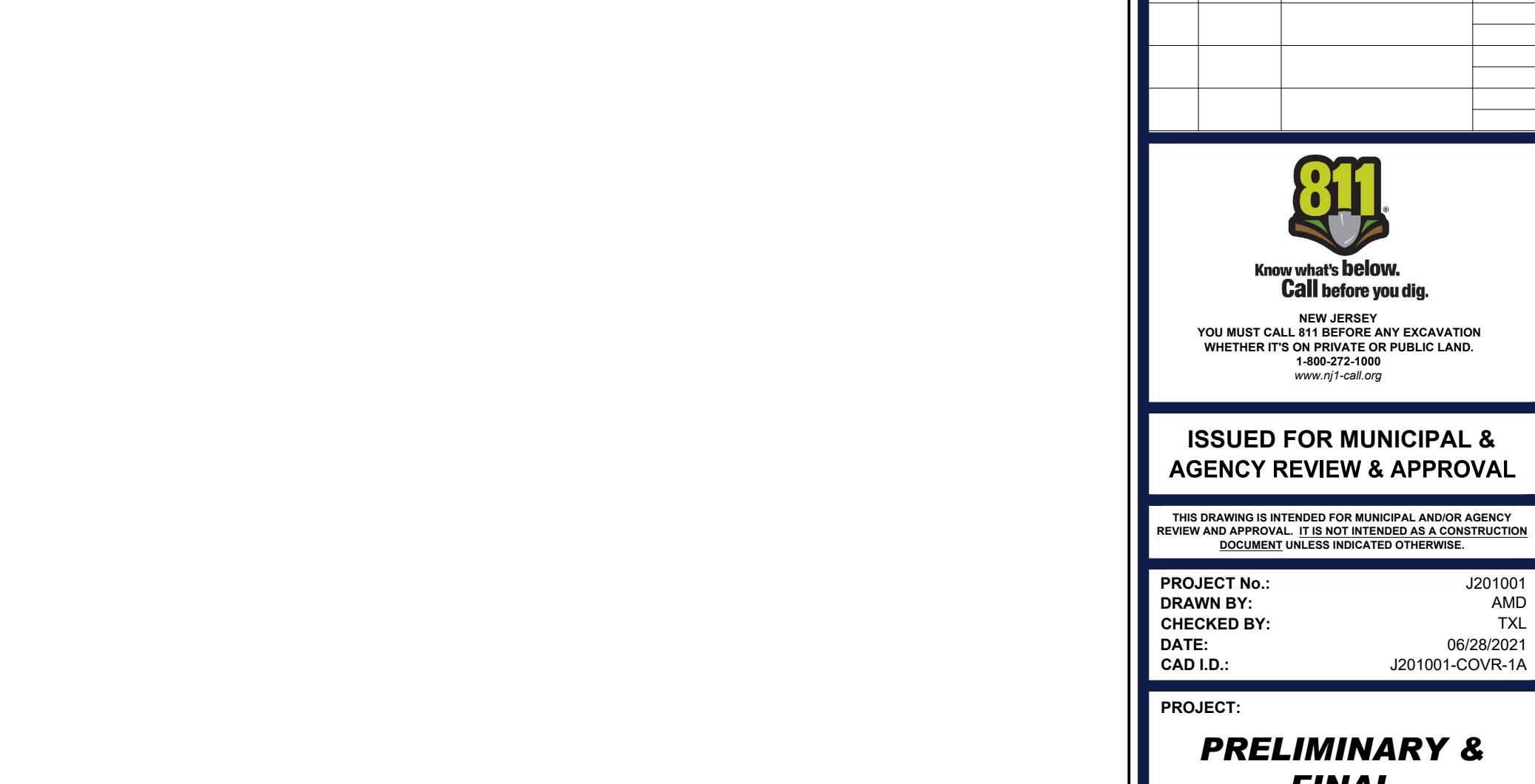
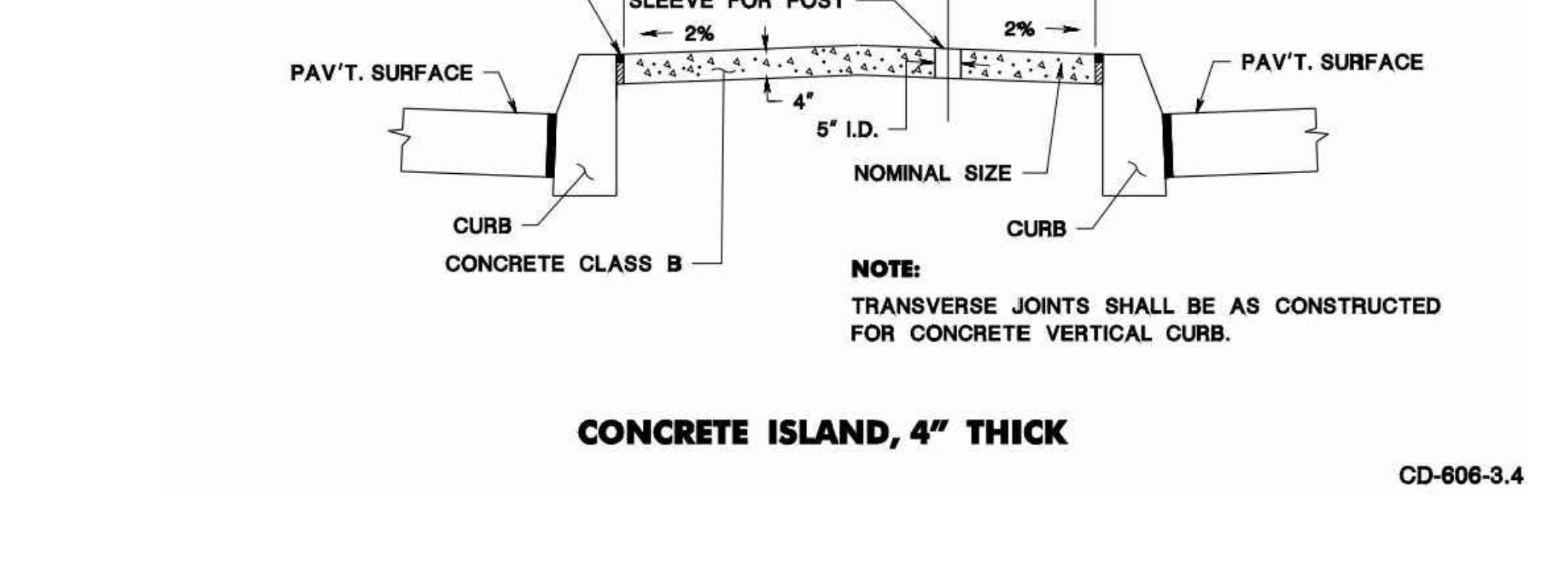
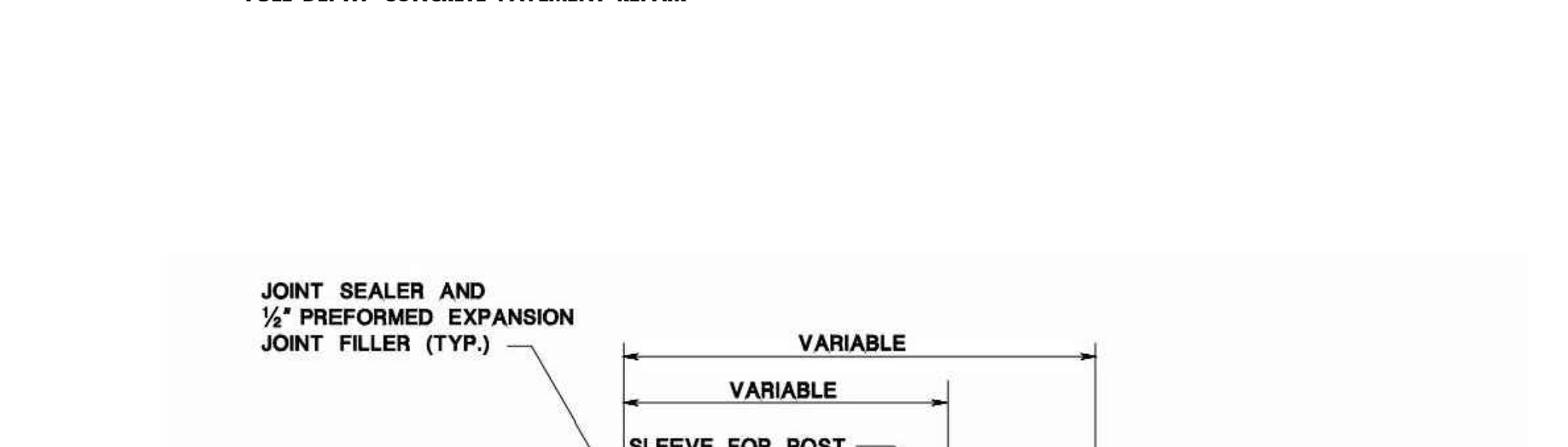
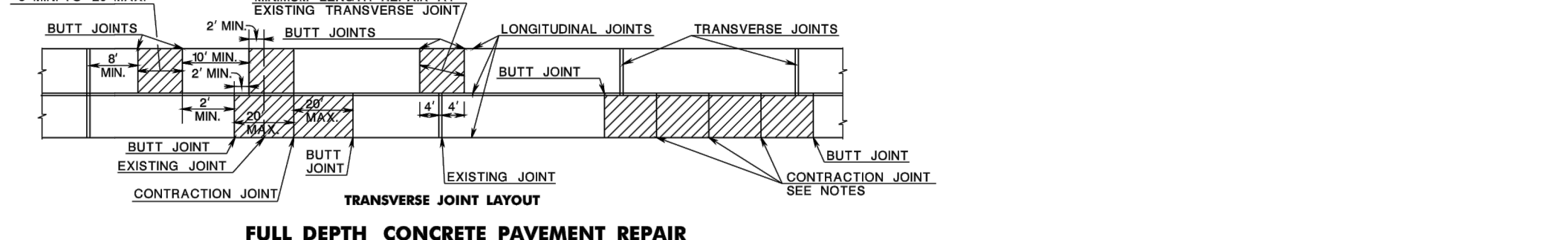
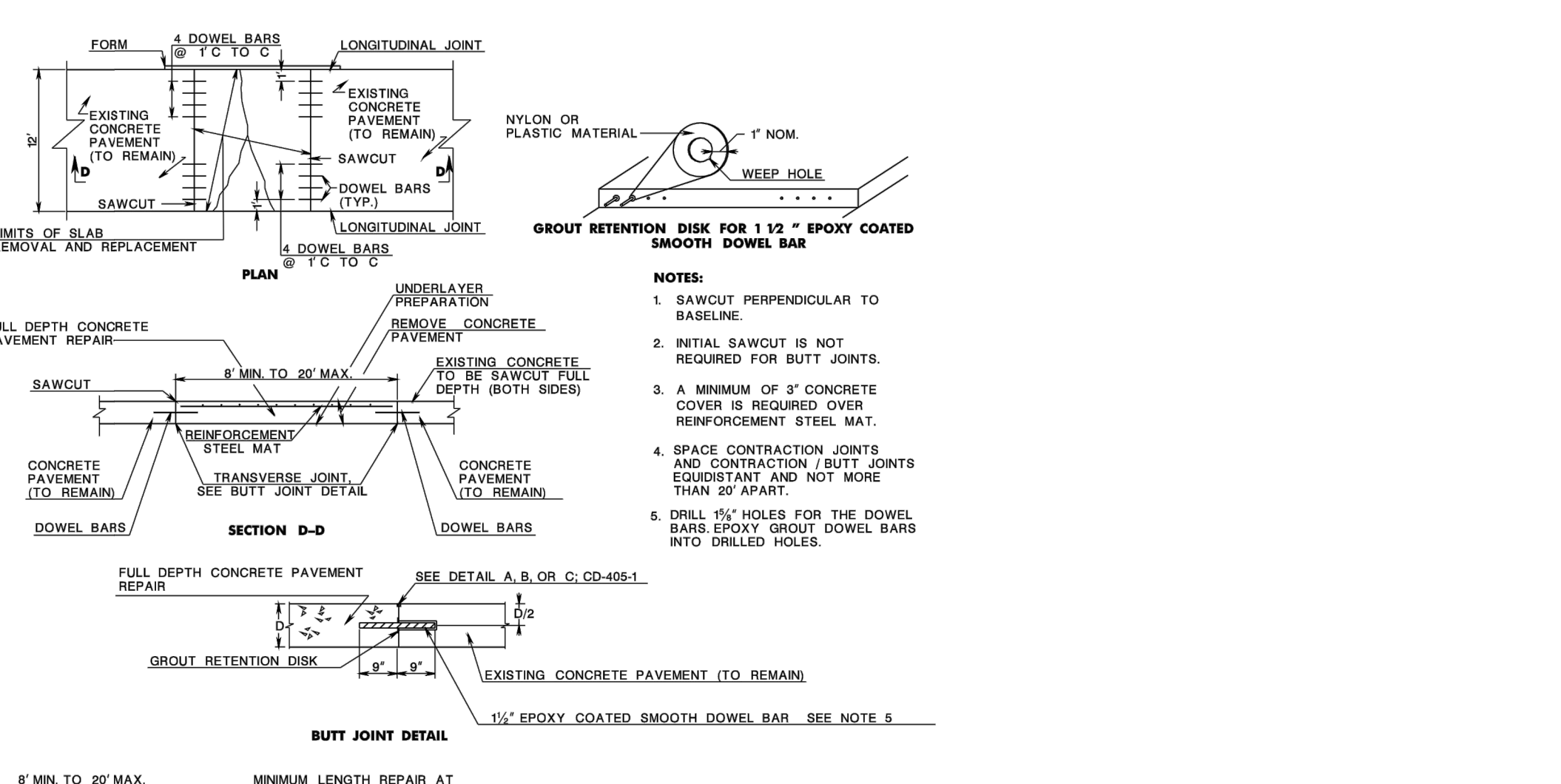
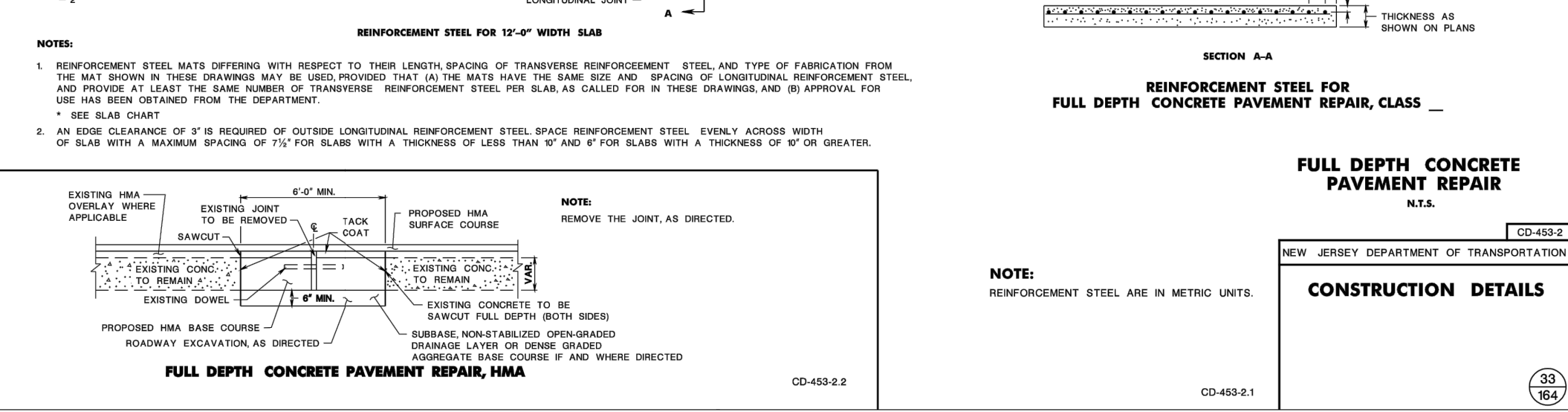
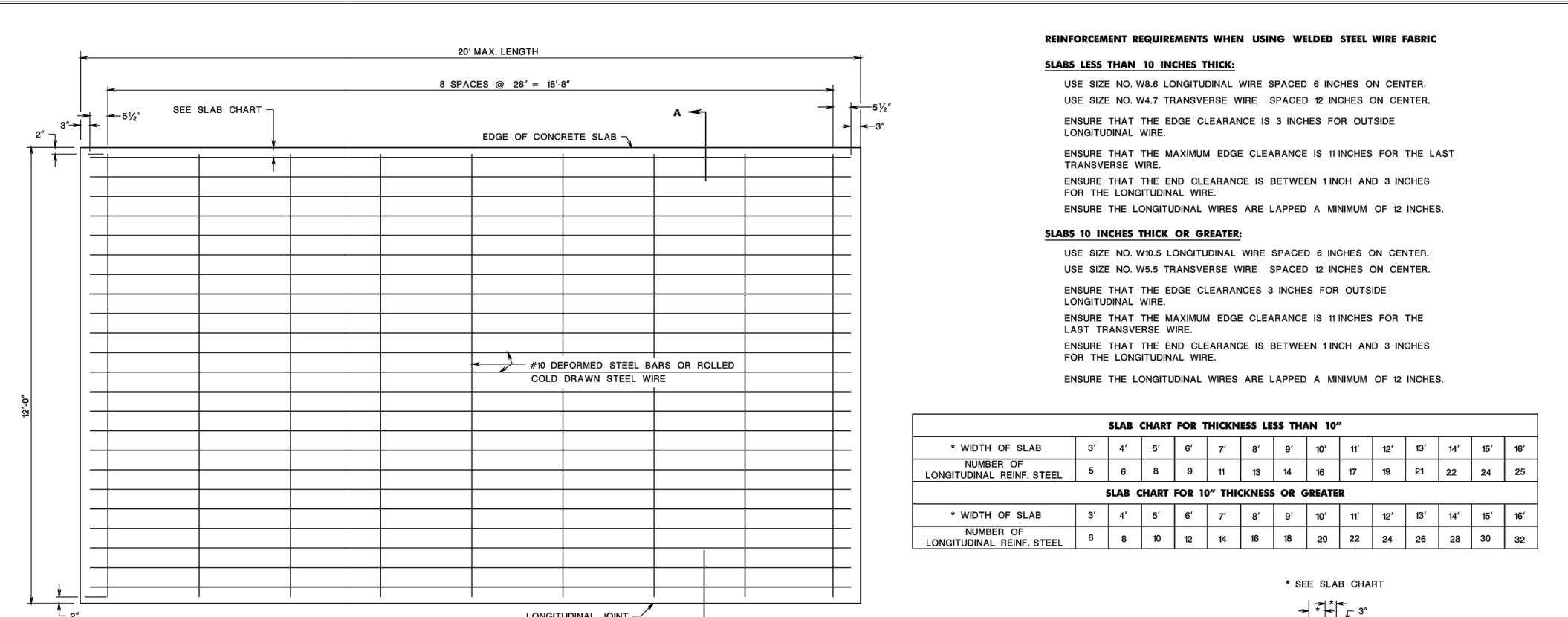
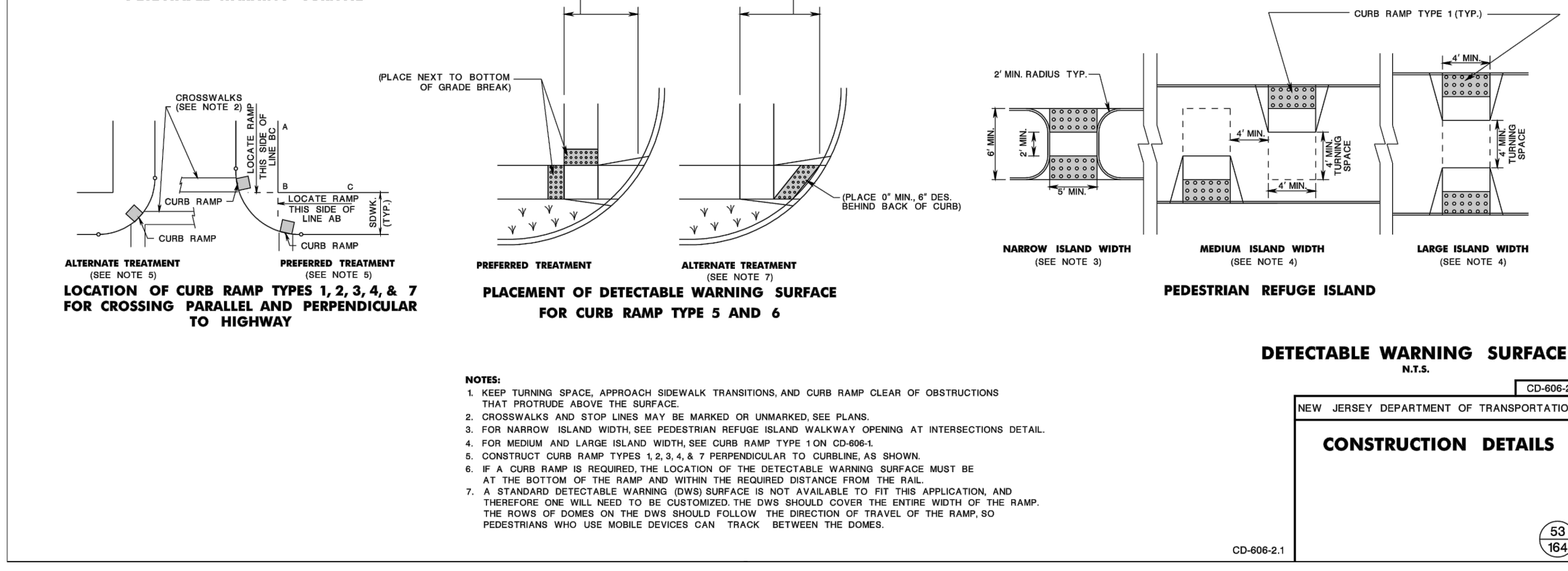
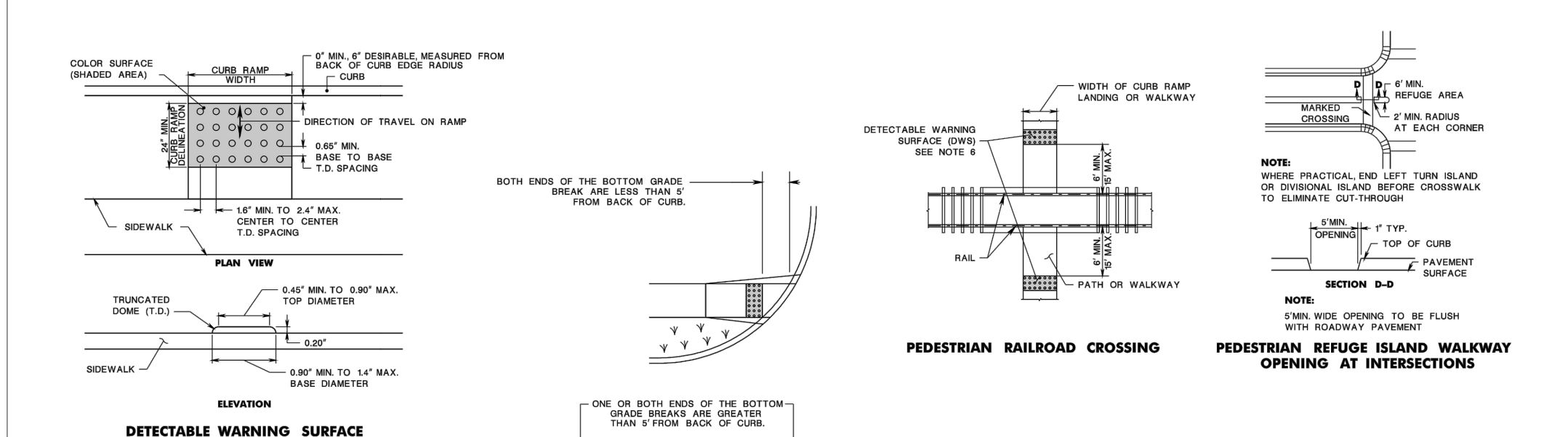
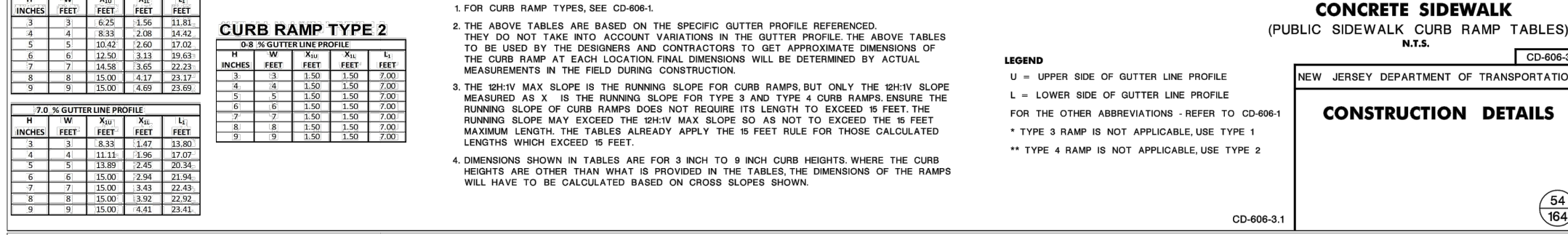
DETAIL SHEET

SHEET NUMBER:
C-905

REVISION 1 - 08/31/2021



CURB RAMP TYPE	SLOPE		WIDTH		LENGTH		CURB HEIGHT	
	MIN.	MAX.	MIN.	MAX.	MIN.	MAX.	MIN.	MAX.
CURB RAMP TYPE 1	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
CURB RAMP TYPE 2	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
CURB RAMP TYPE 3	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
CURB RAMP TYPE 4	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
CURB RAMP TYPE 5	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
CURB RAMP TYPE 6	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
CURB RAMP TYPE 7	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"
	1/4"	1/2"	4'	8'	10'	15'	4"	6"



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DRAWN BY: AMD
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CAD ID: J201001-COVR-1A

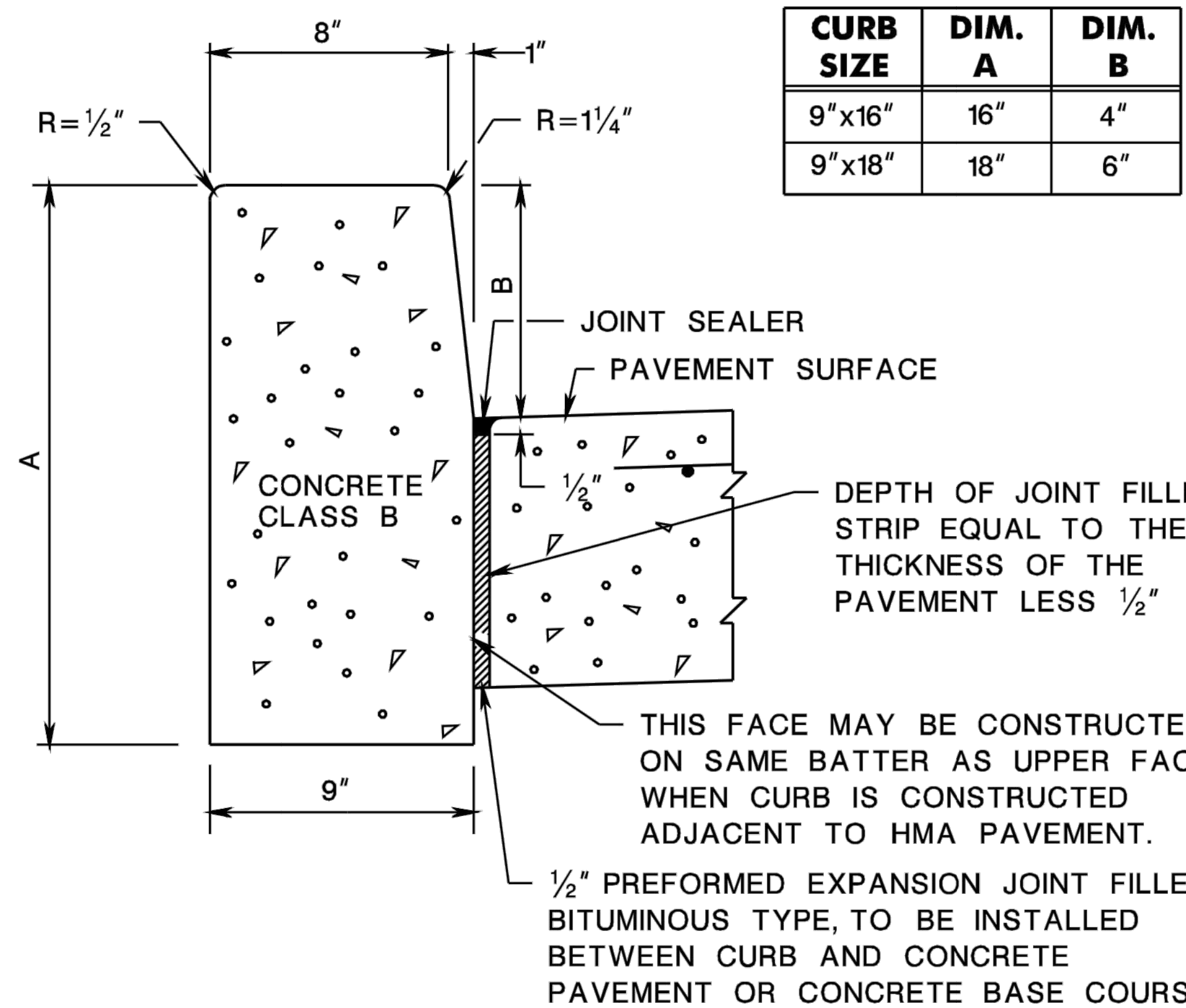
PRELIMINARY & FINAL SITE PLAN
FOR
933 ROUTE 22 WEST, LLC

PROPOSED
POPEYES RESTAURANT
WITH DRIVE-THRU
BLK: 158 | LOT: 9
933 N.J.S.H. ROUTE 22 WEST
BOROUGH OF NORTH PLAINFIELD
SOMERSET COUNTY, NEW JERSEY

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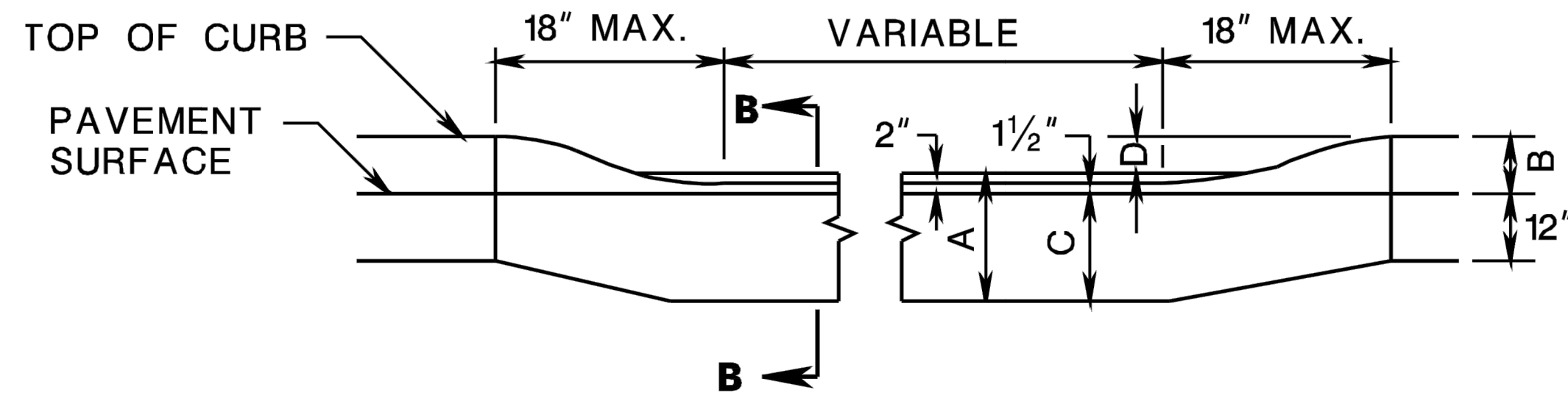
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SHEET TITLE:
DETAIL SHEET
SHEET NUMBER:
C-906
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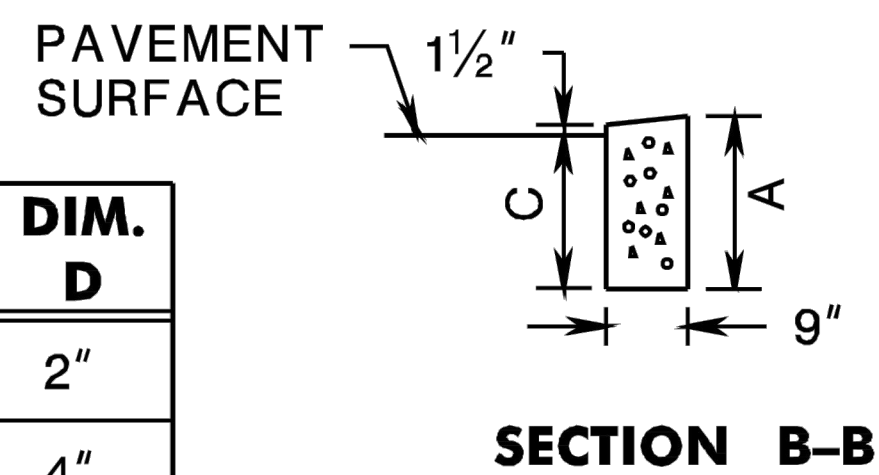


CONCRETE VERTICAL CURB

CD-607-1.6

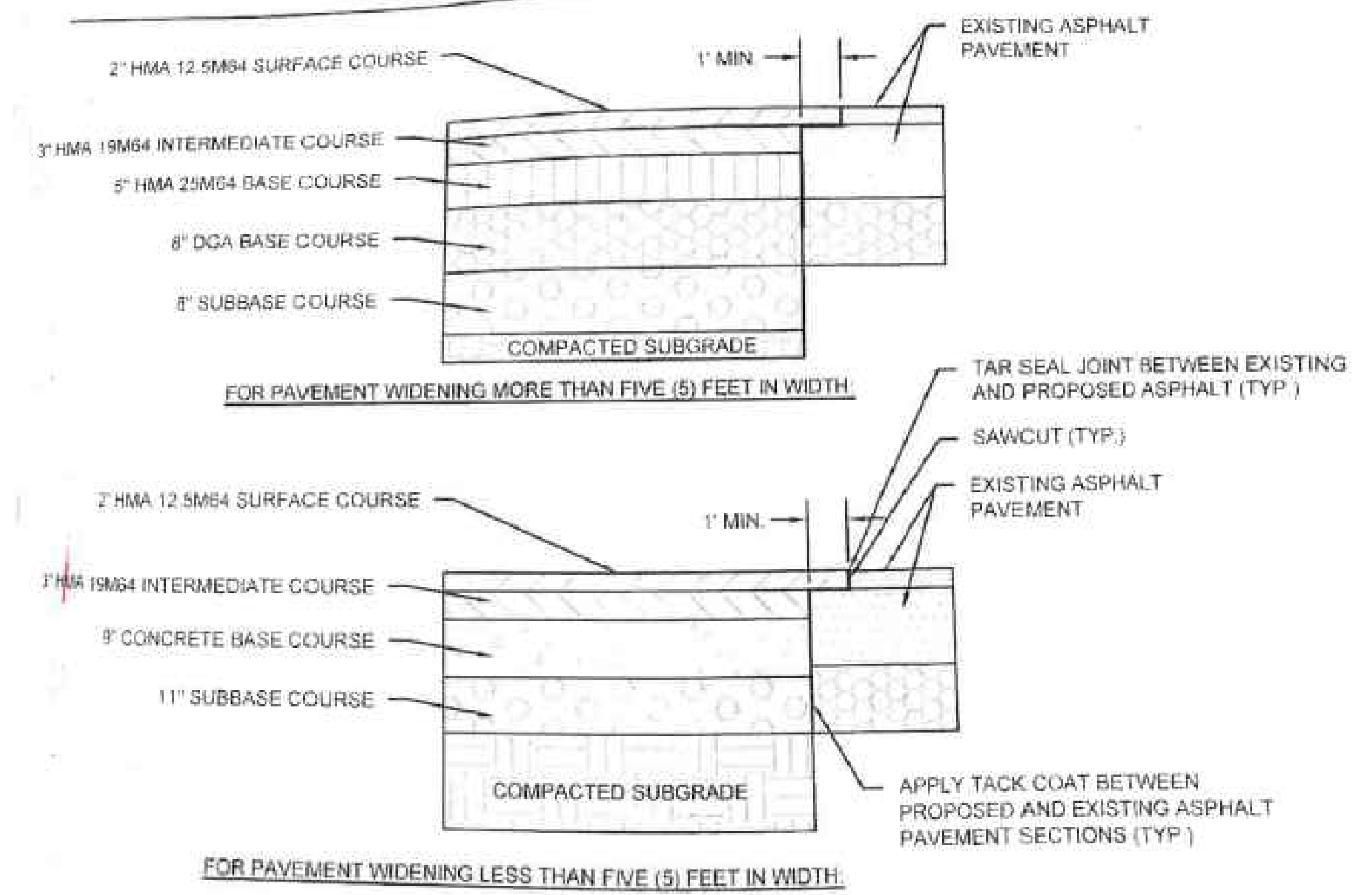


CURB SIZE	DIM. A	DIM. B	DIM. C	DIM. D
9" x 16"	16"	4"	14"	2"
9" x 18"	18"	6"	16"	4"



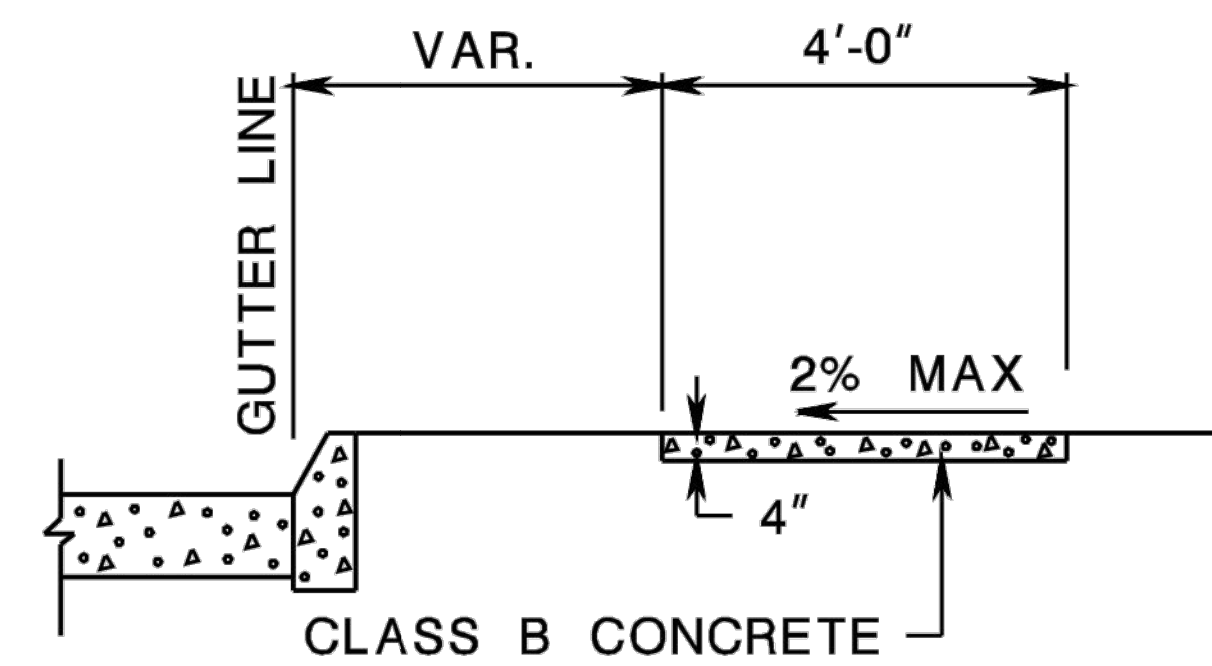
METHOD OF DEPRESSING CURB AT DRIVEWAYS

CD-607-2.4



- NOTES:**
1. UNDERCUT SOFT SUBGRADE AREAS AND REPLACE WITH ADDITIONAL SUBBASE OR BORROW EXCAVATION.
 2. DENSE GRADED AGGREGATE BASE COURSE AND SUBBASE SHOULD EXTEND A MINIMUM OF 3" BEYOND THE OUTER EDGE OF THE PROPOSED CURB.
 3. SAWCUT AND APPLY TACK COAT TO EDGE OF EXISTING PAVEMENT PRIOR TO WIDENING.
 4. THE LOCATIONS EXHIBITING MODERATE TO HIGH SEVERITY CRACKING, PATCHING, AND POTHOLES SHOULD BE REPAIRED (AFTER MILLING) IN ACCORDANCE WITH ITEM NO. 401021M OF NJ DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
 5. IF PAVEMENT CONSTRUCTION WILL ENCROACH IN AN EXISTING TRAVEL WAY, THEN RESURFACE THE FULL WIDTH OF THAT TRAVEL WAY.

HMA PAVEMENT REPAIR DETAIL (NJDOT ROW)



CONCRETE SIDEWALK, 4" THICK

CD-606-5.9

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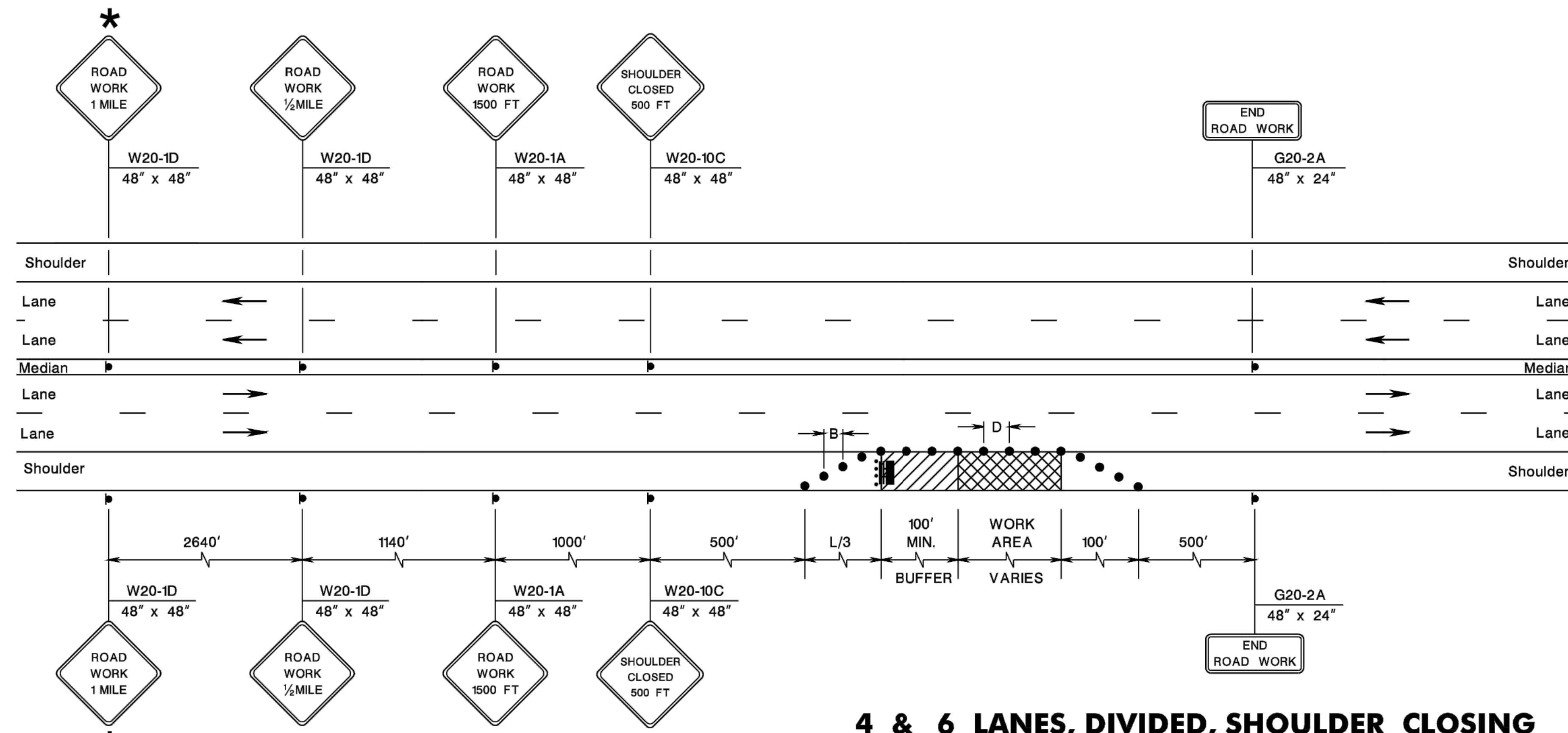
PROJECT No.: J201001
 DRAWN BY: AMD
 CHECKED BY: TXL
 DATE: 08/28/2021
 CAD ID: J201001-COVR-1A

PROJECT:
PRELIMINARY & FINAL SITE PLAN
 FOR
933 ROUTE 22 WEST, LLC
 PROPOSED
 POPEYES RESTAURANT
 WITH DRIVE-THRU
 BLK: 158 | LOT: 9
 933 N.J.S.H. ROUTE 22 WEST
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SHEET TITLE:
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 SHEET NUMBER:
C-907
 REVISION 1 - 08/31/2021



* INSTALL THIS SIGN FOR ROADS WITH A POSTED SPEED LIMIT OF 45 M.P.H. OR GREATER UNLESS OTHERWISE DIRECTED BY THE RE.
 FOR ROADS WITH A SPEED LIMIT GREATER THAN 55 M.P.H., ALSO INSTALL A "ROAD WORK 2 MILES" SIGN 2 MILES IN ADVANCE OF LANE CLOSING UNLESS OTHERWISE DIRECTED BY THE RE.

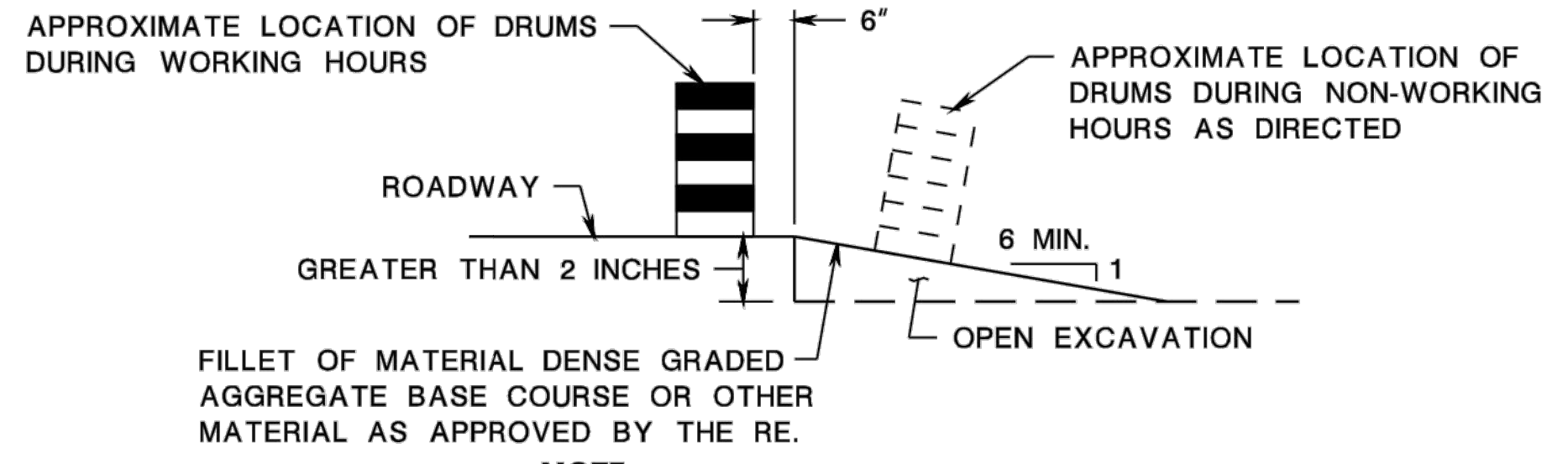
- NOTES:**
- IF MEDIAN IS NARROWER THAN WIDTH OF SIGN PLUS 2 FEET, OMIT MEDIAN SIGNING.
 - SEE RECOMMENDED TAPER LENGTH AND SPACING TABLE ON SHEET TCD-2 FOR VALUES OF L, B, AND D.

N.T.S.

4 & 6 LANES, DIVIDED, SHOULDER CLOSING

LEGEND

- BREAKAWAY BARRICADES
- BREAKAWAY BARRICADES WITH SIGN
- CONSTRUCTION SIGNS
- DRUMS
- CONE
- CONSTRUCTION BARRIER CURB (TYPE SPECIFIED)
- DIRECTION OF TRAFFIC FLOW
- TRAFFIC DIRECTOR, FLAGGER
- TRAILER MOUNTED MOUNTED ARROW BOARD SHOWING CAUTION MODE
- ILLUMINATED FLASHING ARROW MOUNTED ON TOWING VEHICLE SHOWING ARROW PATTERN (LEFT, RIGHT, BOTH)
- TRAFFIC CONTROL TRUCK WITH MOUNTED CRASH CUSHION AND ARROW BOARD SHOWING CAUTION MODE
- TRAFFIC CONTROL TRUCK WITH MOUNTED CRASH CUSHION AND ARROW BOARD SHOWING ARROW PATTERN (LEFT, RIGHT, BOTH)
- TEMPORARY CRASH CUSHION, INERTIAL BARRIER SYSTEM
- TEMPORARY CRASH CUSHION, (ALL OTHER APPROVED)
- BUFFER ZONE
- WORK AREA
- PAINT STRIPING TRUCK OR OTHER OPERATING VEHICLE



NOTE:
 ESCAPE RAMPS MUST BE CONSTRUCTED AND MAINTAINED DURING NON-WORKING HOURS WHERE A VERTICAL DROP GREATER THAN 2 INCHES EXISTS ADJACENT TO TRAVELED LANE.

ESCAPE RAMP DETAIL

REGULATORY APPROACH SPEED OF TRAFFIC MILES / HOUR	MINIMUM TAPER RATIO IN LENGTH PER FOOT OF WIDTH	MINIMUM TAPER LENGTH L - FOR LANE WIDTHS			MAXIMUM DEVICE (B) SPACING ALONG TANGENTS IN FEET	MAXIMUM DEVICE (D) SPACING ALONG TANGENTS IN FEET
		10'	11'	12'		
25	10.5:1	105	115	125	25	50
30	15:1	150	165	180	30	60
35	20.5:1	205	225	245	35	70
40	27:1	270	300	325	40	80
45	45:1	450	495	540	45	90
50	50:1	500	550	600	50	100
55	55:1	550	605	660	55	110
60	60:1	600	660	720	60	120
65	65:1	650	715	780	65	130

NOTE:
 THE MAXIMUM DEVICE SPACING ALONG CURVES IS DEFINED FOR TAPERS (B) IN THE ABOVE TABLE.

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 DRAWN BY: AMD
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 DATE: 08/28/2021
 CAD ID: J201001-COV-R-1A

PRELIMINARY & FINAL SITE PLAN

FOR
933 ROUTE 22 WEST, LLC

PROPOSED
 POPEYES RESTAURANT
 WITH DRIVE-THRU
 BLK: 158 | LOT: 9
 933 N.J.S.H. ROUTE 22 WEST
 BOROUGH OF NORTH PLAINFIELD
 SOMERSET COUNTY, NEW JERSEY

BOHLER
 BOHLER ENGINEERING NJ, LLC
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 Phone: (908) 665-6300
 Fax: (908) 724-4401
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 NJ CERT. OF AUTHORIZATION NO. 246A28191700 & M6000122

T. LAM
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 47862
 NEW YORK LICENSE No. 092942
 CONNECTICUT LICENSE No. 30024
 PENNSYLVANIA LICENSE No. 76746

SHEET TITLE:
DETAIL SHEET

SHEET NUMBER:
C-908

REVISION 1 - 08/31/2021